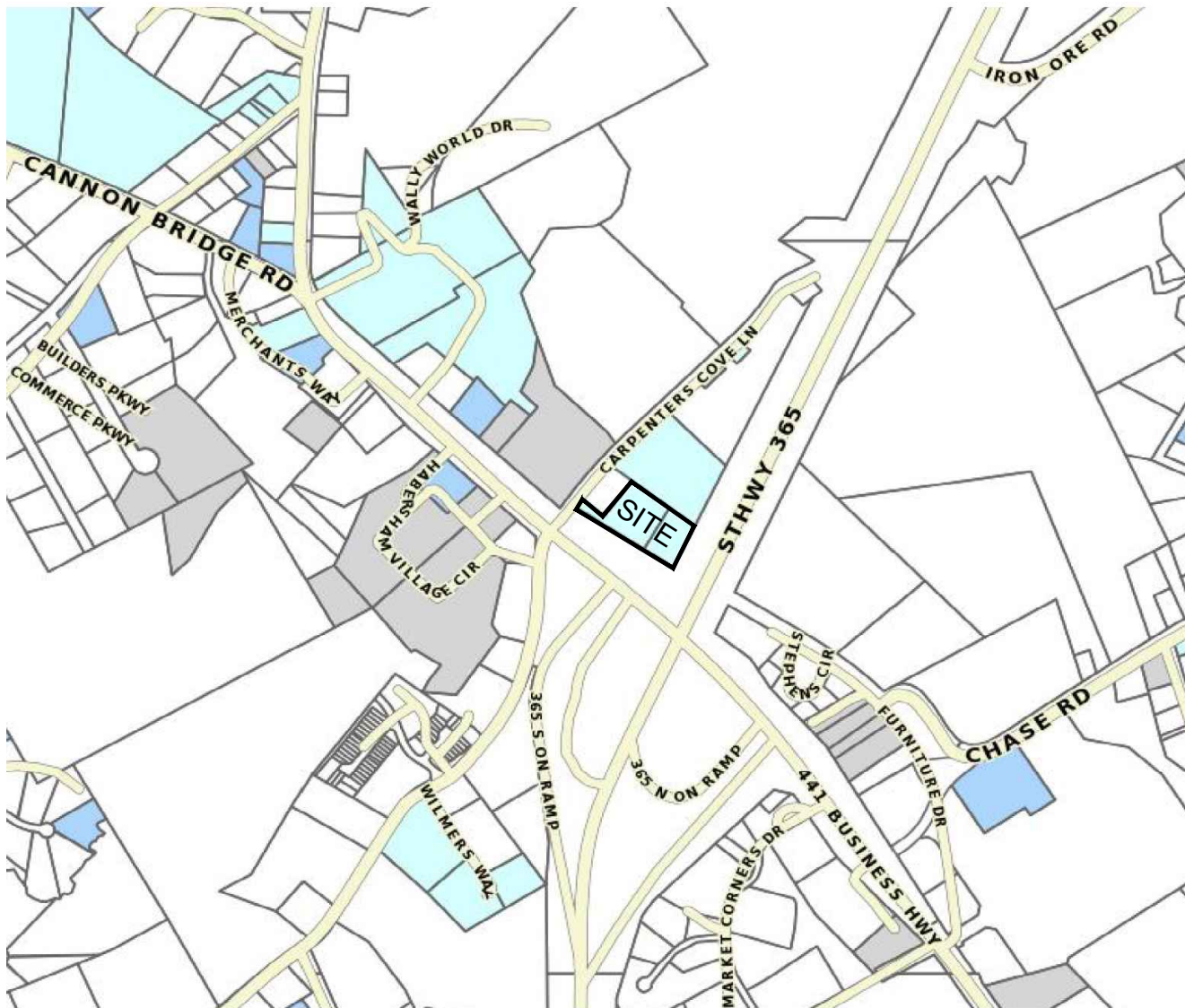


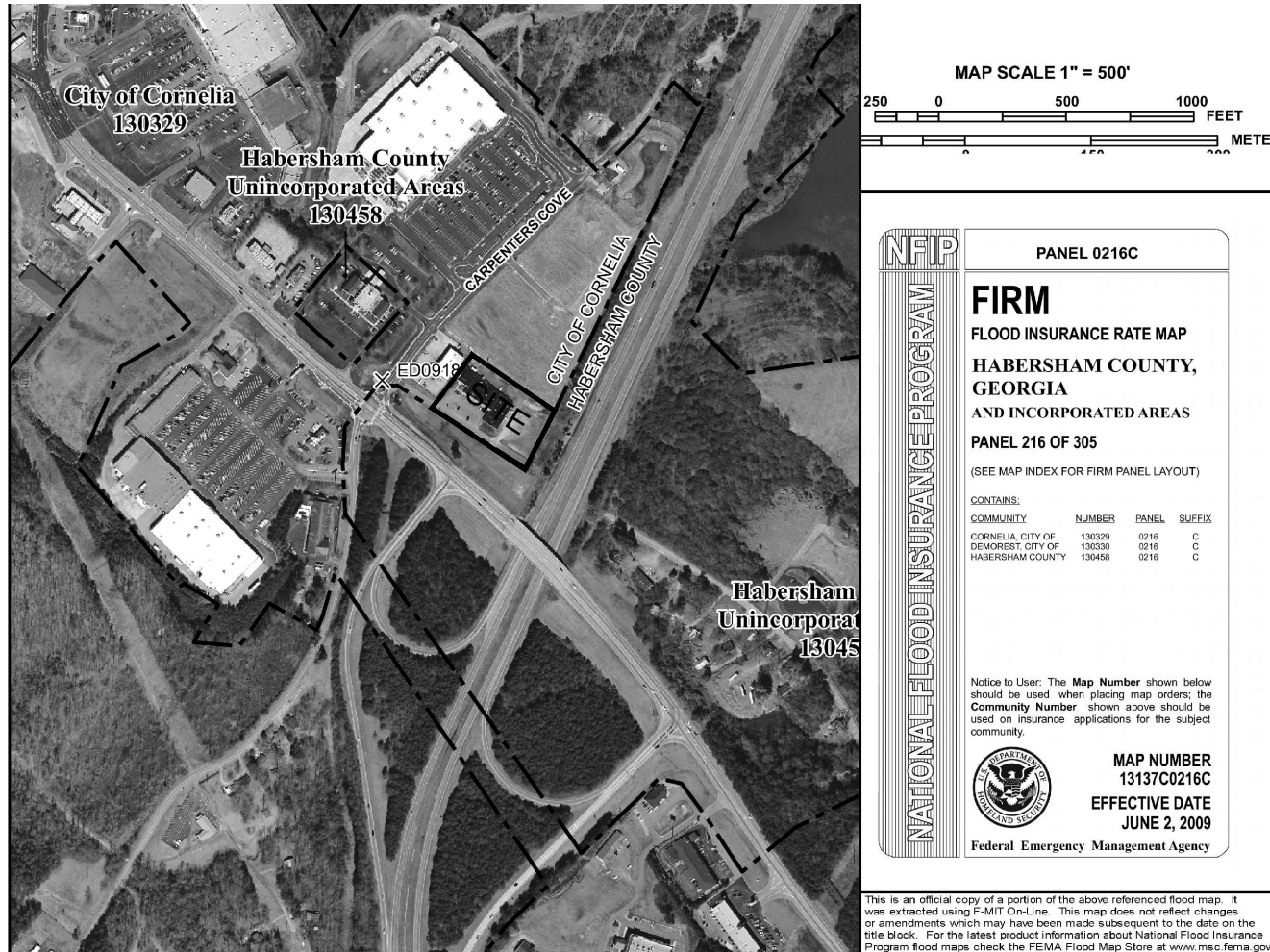
SITE DEVELOPMENT PLANS

RETAIL CENTER

SITE ADDRESS:
216 CARPENTERS COVE LN
CITY OF CORNELIA, GA 30531
PARCEL ID: 083-135A & 083-135
ZONED: B-1
LAND LOT: 105 DISTRICT: 10TH



VICINITY MAP
NTS



THIS PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD PLAIN AS SHOWN ON F.I.R.M. COMMUNITY PANEL NUMBER 13137C0216C, DATED JUNE 2, 2009.

Sheet List Table		
#	Sheet Number	Sheet Title
01	C0	COVER
02	C1	DEMO PLAN
03	C2	SITE PLAN
04	C3	GRADING PLAN
05	C4	UTILITY PLAN
06	C5	PIPE PROFILES
07	C6	ESC I
08	C7	ESC II
09	C8	ESC III
10	C9	ESC DETAILS
11	C10	ESC DETAILS
12	C11	ESC DETAILS
13	C12	CONSTRUCTION DETAILS
14	C13	CONSTRUCTION DETAILS
15	LS1	LANDSCAPE PLAN
16	PH1	PHOTOMETRIC PLAN
17	SU1	SURVEY


Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.

Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.

The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.

THIS PROPERTY IS NOT LOCATED WITHIN 200' OF A STATE WATER.

TOTAL DISTURBED AREA: 1.42 ACRES
TOTAL SITE = 2.54 ACRES



IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION AS THE LOCATION OF UTILITIES SHOWN ON THIS PLAT ARE APPROXIMATE AND POSSIBLY INCOMPLETE. THEREFORE CERTIFICATION TO THE LOCATION OF ALL UNDERGROUND UTILITIES ARE WITHHELD.

Know what's **below.**
Call before you dig.

OWNER/DEVELOPER/PRIMARY PERMITTEE

JETS ASSOCIATES, LTD
641 LAKE DRIVE
VERO BEACH, FL 32963
PHONE: (770)–309–3222

REVISIONS:

PROJECT: RETAIL CENTER

PROJECT ADDRESS: 216 CARPENTERS COVE LN

PROJECT ADDRESS: CITY OF CORNELIA, GA 30531

CLIENT: JETS ASSOCIATES, LTD

CLIENT ADDRESS: 641 LAKE DRIVE

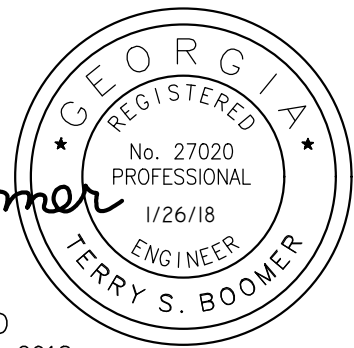
CLIENT ADDRESS: VERO BEACH, FL 32963

DATE: 1/26/18 DWG: PRJ1

Civil Consulting Engineers, Inc.

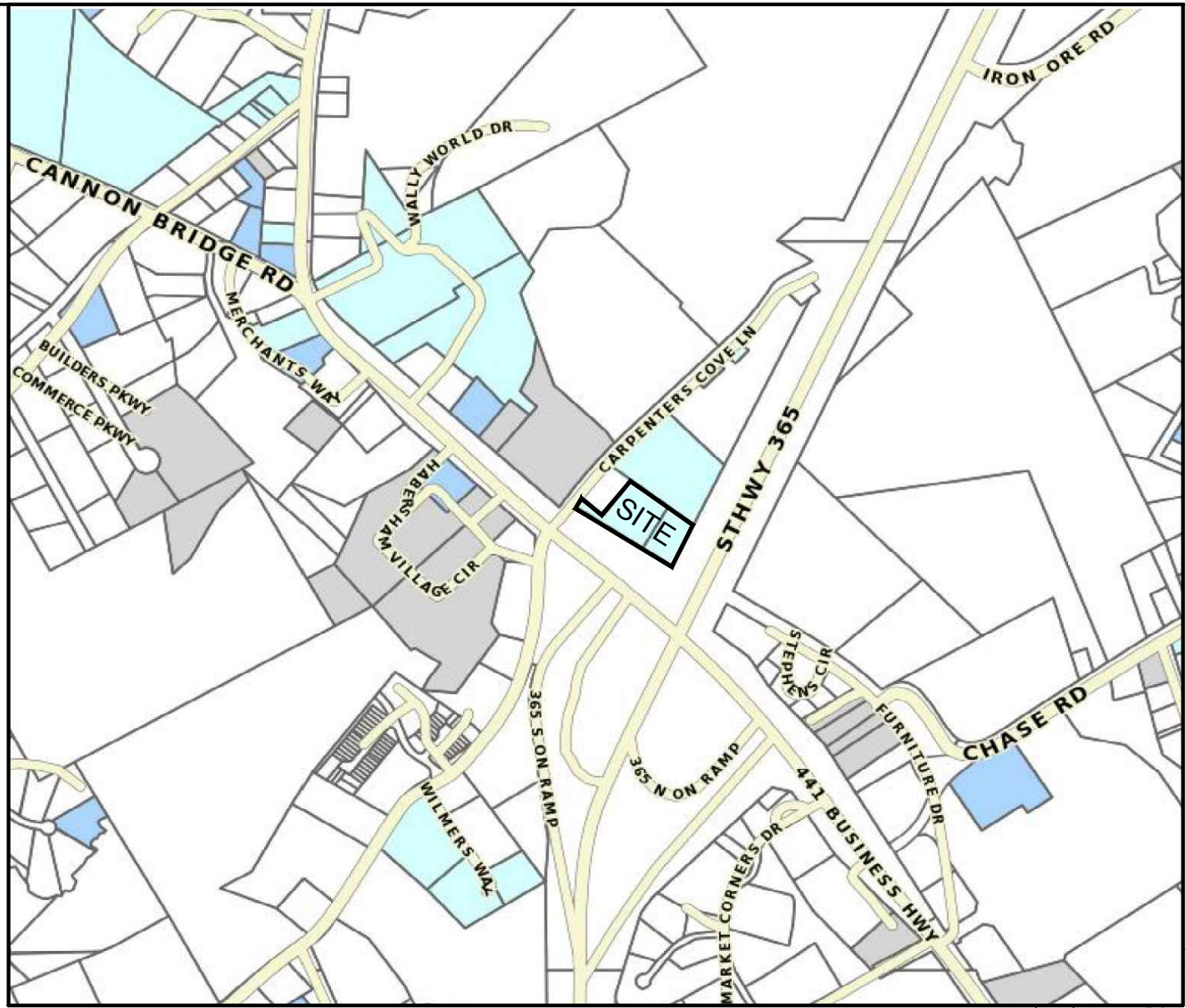
 122 CEDAR WOODS TRAIL
CANTON, GA 30114
678-462-4072

CONTACTS:	
CITY OF CORNELIA BUILDING & ZONING	706.778.8585 EXT. 248
CITY CORNELIA PUBLIC WORKS	706.894.3082
CITY OF CORNELIA FIRE DEPARTMENT	706.778.8585
WATER & SANITARY SEWER:	
CITY OF CORNELIA PUBLIC UTILITIES	706.778.8585 EXT. 501
STORM SEWER:	
CITY OF CORNELIA PUBLIC UTILITIES	706.778.8585
ELECTRIC COMPANY:	
GEORGIA POWER	888.660.5890
NATURAL GAS:	
LP GAS	706.754.2121
TELEPHONE	
WINDSTREAM	800.347.1991



TERRY BOOMER
No. 0000005401
LEVEL II CERTIFIED
EXPIRES FEBRUARY 10, 2018

24 HOUR EMERGENCY CONTACT: GREG CRAFT 678.361.4854



VICINITY MAP
NTS



- DEMOLITION NOTES:**
1. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION, SLABS, WALLS AND FOOTINGS. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIALS AND COMPACTED PER THE PROJECT SPECIFICATIONS, AS DETERMINED BY THE ON-SITE GEOTECHNICAL ENGINEER.
 2. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD.
 3. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
 4. ALL UTILITY DISCONNECTION, REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY / AGENCY.
 5. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND SHALL FUNCTION PROPERLY PRIOR TO INITIALIZATION OF DEMOLITION ACTIVITIES.
 6. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED. THE DEVELOPER AND OR OWNER SHALL PROVIDE THE PHASE I ESA TO THE CONTRACTOR.
 7. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL DEMOLITION ACTIVITIES.
 8. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
 9. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
 10. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
 11. PROVIDE NEAT, STRAIGHT, FULL DEPTH, SAW CUTS OF EXISTING PAVEMENT WHERE INDICATED ALONG LIMITS OF PAVEMENT DEMOLITION.
 12. ALL UTILITY AND STRUCTURE REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED AND PROPERLY DOCUMENTED BY A CERTIFIED PROFESSIONAL, WHEN APPLICABLE, WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: WELLS, ASBESTOS, UNDERGROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC TRANSFORMERS. DEMOLITION CONTRACTOR SHALL REFER TO ANY ENVIRONMENTAL STUDIES FOR DEMOLITION RECOMMENDATIONS AND GUIDANCE. AVAILABLE ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO: PHASE I ESA, PHASE II, AND ASBESTOS SURVEY. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST.
 13. NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
 14. ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE AREA TO BE DEMOLISHED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE PROVIDED THAT THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE REPORT OF GEOTECHNICAL INVESTIGATION. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE AREAS TO RECEIVE LANDSCAPING.
 15. THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITIES.
 16. THIS PLAN DOES NOT PURPORT TO SHOW ALL ITEMS TO BE REMOVED. THE CONTRACTOR SHALL MAKE A VISIT OF THE SITE AND AN ASSESSMENT OF MATERIALS AND QUANTITIES TO BE REMOVED.
 17. THE CONTRACTOR SHALL HAVE ALL UTILITIES MARKED AND TURNED OFF PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
 18. CONTRACTOR TO ISSUE DEMOLITION APPLICATION AND FEE AS APPLICABLE.

REVISIONS:

PROJECT: RETAIL CENTER

PROJECT ADDRESS: 216 CARPENTERS COVE LN

PROJECT ADDRESS: CITY OF CORNELIA, GA 30531

CLIENT: JETS ASSOCIATES, LTD

CLIENT ADDRESS: 641 LAKE DRIVE

CLIENT ADDRESS: VERO BEACH, FL 32963

DATE: 2/12/18

DWG: PRJ1

Civil Consulting Engineers, Inc.



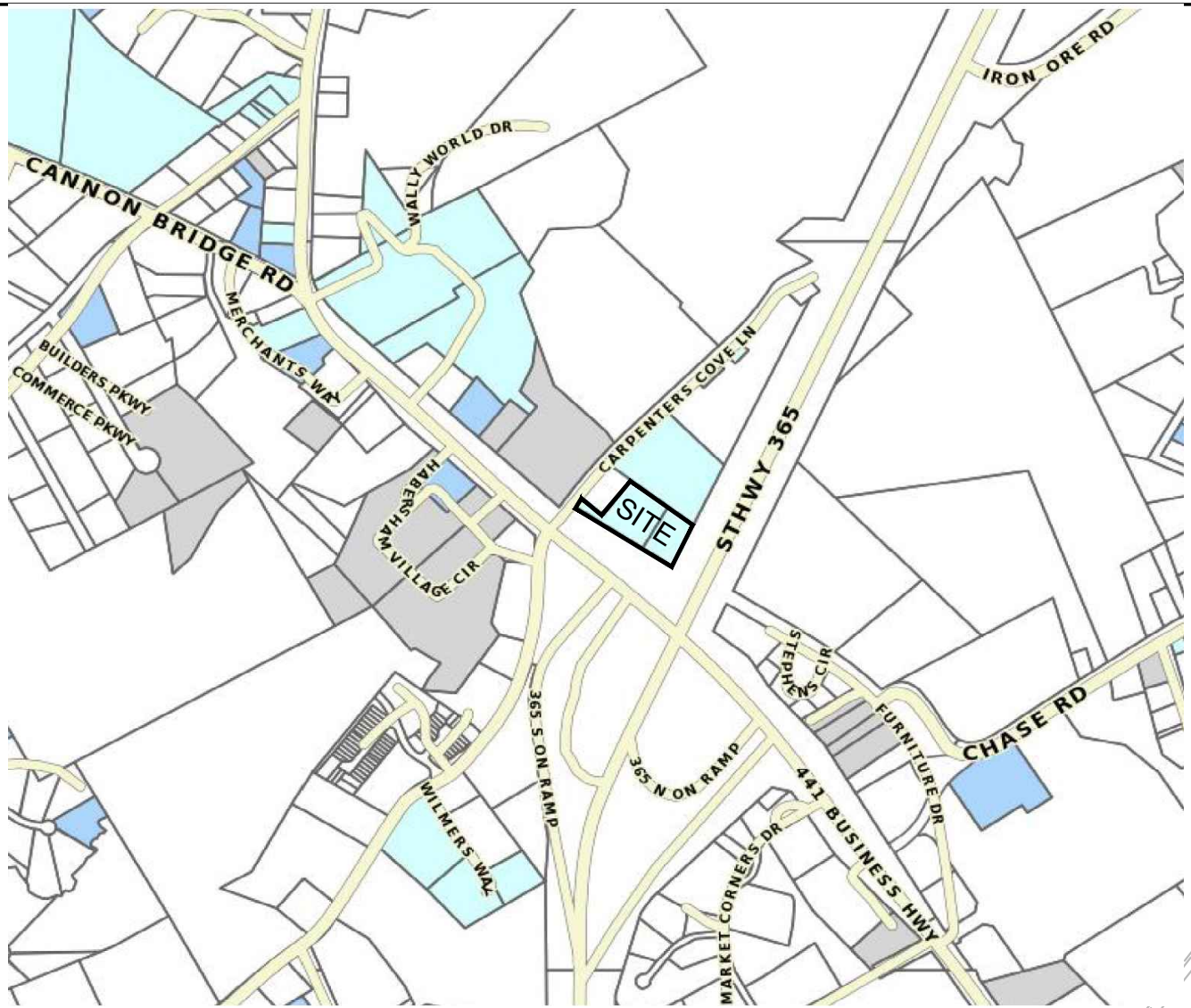
122 CEDAR WOODS TRAIL
CANTON, GA 30114
678-462-4072

DEMOLITION PLAN

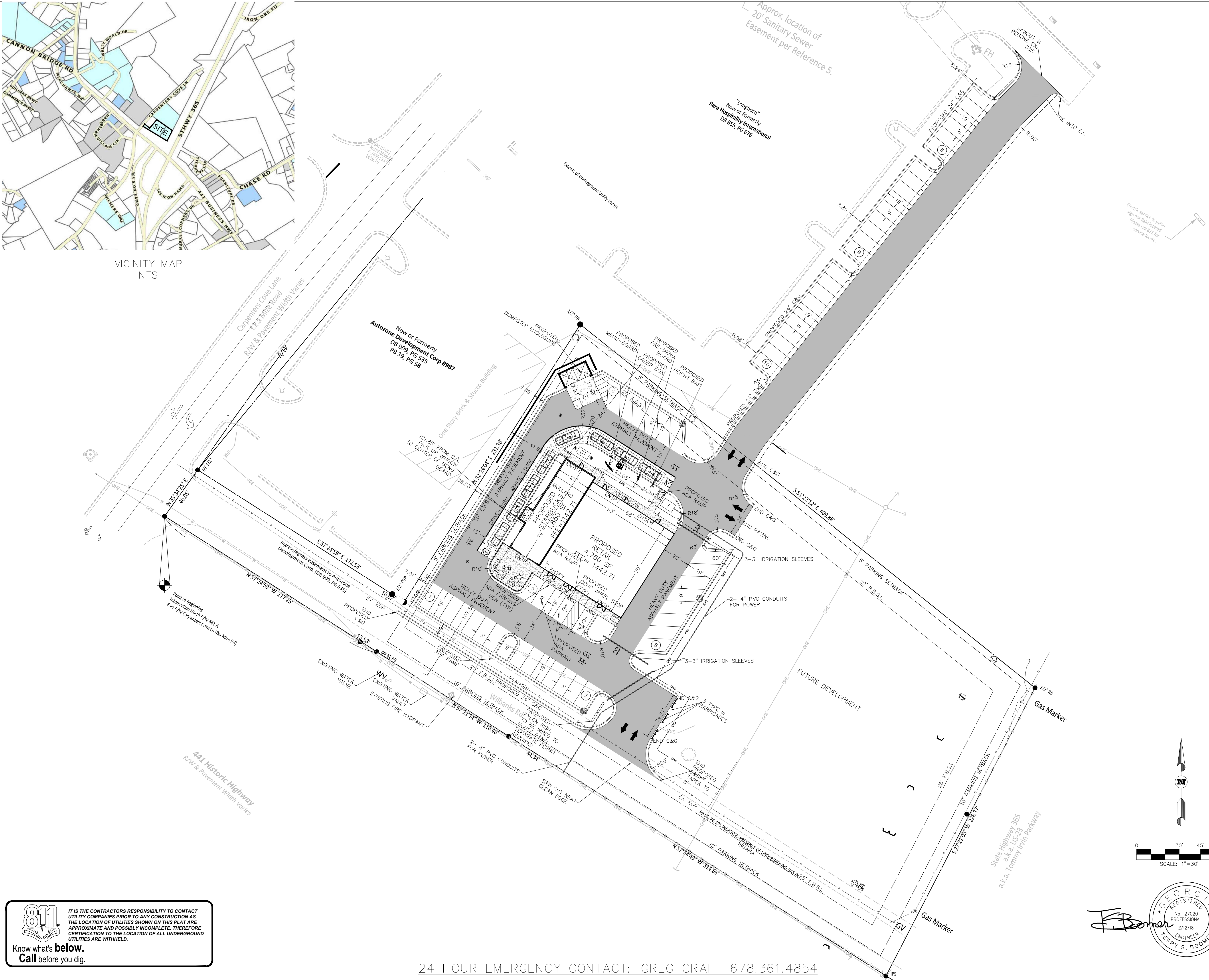
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Know what's below.
Call before you dig.

24 HOUR EMERGENCY CONTACT: GREG CRAFT 678.361.4854



VICINITY MAP
NTS



- SITE NOTES:**
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY APPLICABLE FEDERAL, STATE AND LOCAL CODES.
 2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, ETC.
 3. TOPOGRAPHIC BOUNDARY SURVEY, PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY: ENGINEERING 303
 4. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
 5. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF GEORGIA DEPARTMENT OF TRANSPORTATION.
 6. ALL STRIPED OR CURBED RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
 7. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
 8. SITE LIGHTING SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S SCOPE OF WORK. ALL PARKING LOT LIGHTING POLES, BASES, FIXTURES WITH LAMPS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR AND SHALL SUPPLY A ONE YEAR WARRANTY CERTIFICATE.
 9. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
 10. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
 11. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
 12. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
 13. ALL CONCRETE SHALL BE 4,000 PSI 28 DAY COMPRESSIVE STRENGTH.
 14. PROJECT SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 15. ALL CURB AND GUTTER WITHIN THE DEVELOPMENT SHALL BE 24\"/>

ZONED:	B-1 NEIGHBORHOOD BUSINESS
TOTAL SITE AREA:	2.54 ACRES
TOTAL BUILDING AREA:	6,610 SF
QUICK SERVICE RESTAURANT:	1,850 SF
RETAIL:	4,760 SF
MINIMUM LOT AREA:	NONE
MINIMUM HEIGHT:	35 FEET PROPOSED= 20' +/-
MAXIMUM HEIGHT:	3 STORIES PROPOSED 1 STORY
MINIMUM LOT WIDTH:	75 FEET
MINIMUM FRONT YARD SETBACK:	25 FEET
MINIMUM SIDE YARD SETBACK:	10 FEET (INTERIOR LOT LINE) 15 FEET (CORNER LOT)
MINIMUM REAR YARD SETBACK:	20 FEET
MINIMUM LANDSCAPE STRIP REQUIRED ALONG RIGHT-OF-WAY:	10 FEET
MAXIMUM LOT COVERAGE:	40 PERCENT
MINIMUM LANDSCAPED OPEN SPACE:	20 PERCENT
PARKING REQUIREMENTS:	
RETAIL	
MINIMUM PARKING REQUIRED:	1 SPACE/275 SF
4,760/275 =	18
MINIMUM PARKING REQUIRED:	18
MAXIMUM PARKING ALLOWED:	1 SPACE/250 SF
4,760/250 =	19
MAXIMUM PARKING ALLOWED:	19
RESTAURANT	
MINIMUM PARKING REQUIRED:	1 SPACE/125 SF
1,850/125 =	15
MINIMUM PARKING REQUIRED:	15
MAXIMUM PARKING ALLOWED:	1 SPACE/75 SF
1,850/75 =	25
MAXIMUM PARKING ALLOWED:	25
TOTAL MINIMUM PARKING REQUIRED:	33
TOTAL MAXIMUM PARKING ALLOWED:	44
TOTAL PARKING PROVIDED:	33 W/2 ACCESSIBLE SPACES
TOTAL PARKING PROVIDED OFF-SITE:	25

PARCEL ID 083-135A & 083-135
LAND LOT: 105
DISTRICT: 10TH

REVISIONS:	
PROJECT: RETAIL CENTER	
PROJECT ADDRESS: 216 CARPENTERS COVE LN	
PROJECT ADDRESS: CITY OF CORNELIA, GA 30531	
CLIENT: JETS ASSOCIATES, LTD	
CLIENT ADDRESS: 641 LAKE DRIVE	
CLIENT ADDRESS: VERO BEACH, FL 32963	

DATE: 2/12/18	DWG: PRJ1
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Civil Consulting Engineers, Inc.

e inc.

122 CEDAR WOODS TRAIL
CANTON, GA 30114
678-462-4072

SITE PLAN

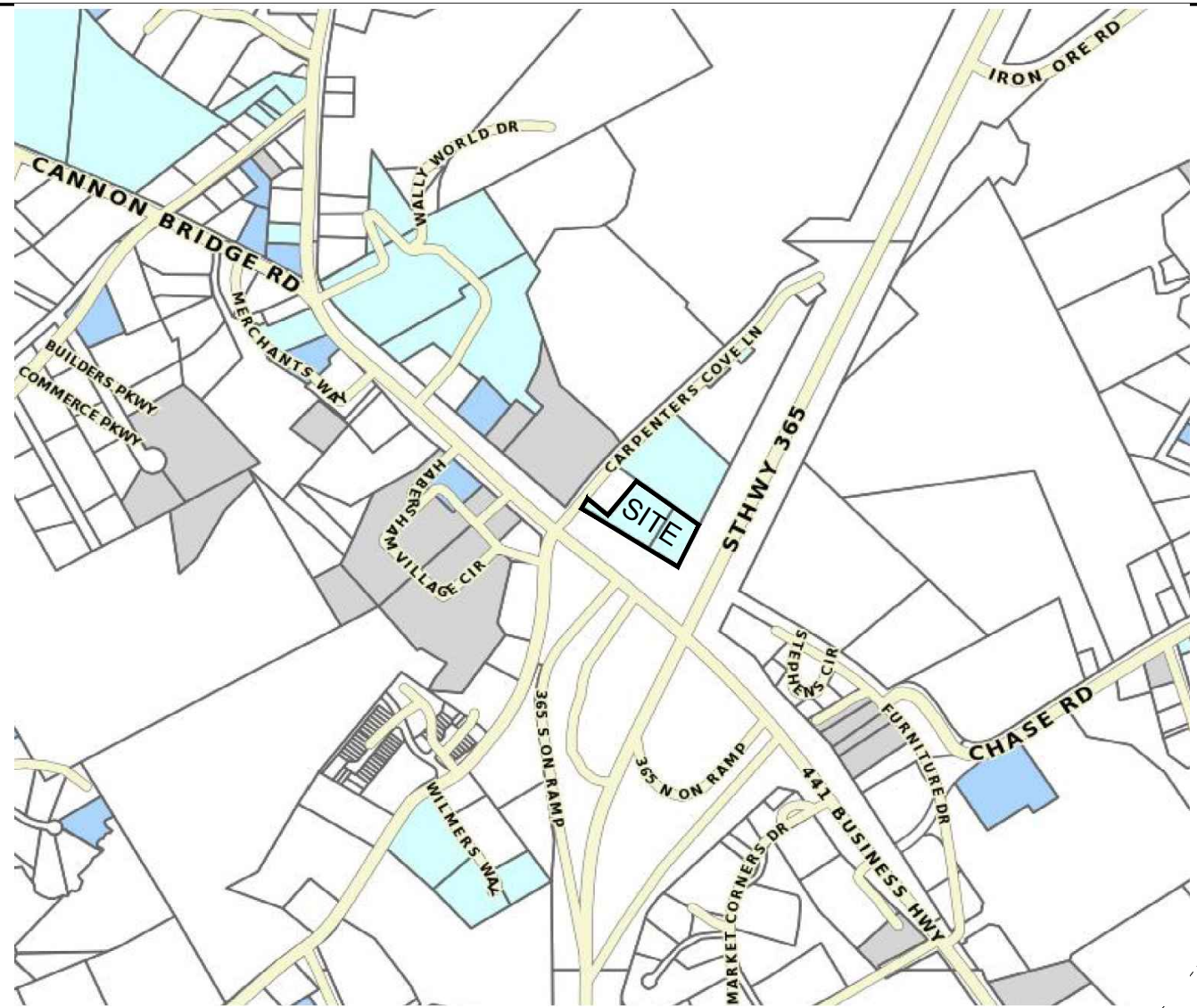
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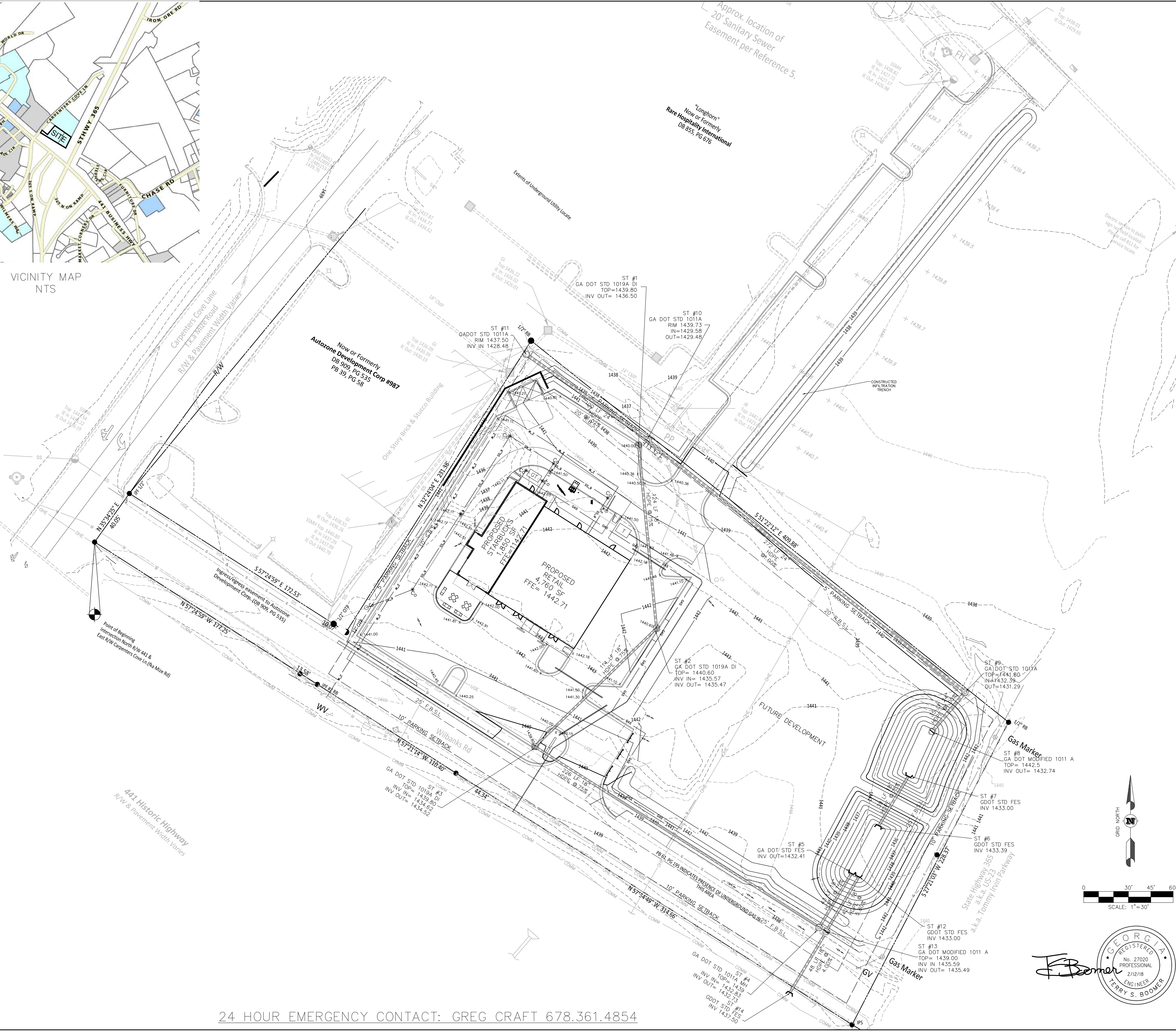
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Know what's below.
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24 HOUR EMERGENCY CONTACT: GREG CRAFT 678.361.4854




VICINITY MAP
NTS



- GRADING NOTES:**
1. INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE OWNER.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AS ACCEPTABLE TO THE OWNER AND ENGINEER.
 3. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY AND SUBMIT IT TO THE OWNER FOR REVIEW.
 4. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
 5. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS.
 6. PRECAST STRUCTURES MAY BE USED AT THE CONTRACTOR'S OPTION.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO: SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNS, UTILITY POLES, GUY WIRES, ETC.
 8. IN ALL AREAS WHERE NEW CURB AND GUTTER ARE INSTALLED REMOVE ALL OLD CURB AND GUTTER AND SAW CUT A STRAIGHT EDGE ALONG ASPHALT.
 9. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
 10. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 11. ALL SLOPES AND DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED SMOOTH AND RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR TO PROVIDE TOPSOIL IF NOT AVAILABLE ON SITE. THE AREAS SHALL BE SEEDED AND MULCHED, FERTILIZED AND WATERED TO PROVIDE A HEARTY MOWABLE STAND OF GRASS. SMALL ROCKS MUST BE REMOVED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 12. SPOIL FROM FOOTINGS IS THE SITE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR IS TO USE THE SOIL ON SITE OR REMOVE IT FROM SITE.
 13. EARTHWORK SHALL BE ON AN UNCLASSIFIED BASIS.
 14. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHOULD BE A CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL GRADATION ANALYSIS SHOULD BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHOULD BE PLACED IN LAYERS OF NOT MORE THAN EIGHT INCHES IN THICKNESS PER RECOMMENDATIONS FOUND IN THE SOILS REPORT / GEOTECHNICAL REPORT.


HYDROLOGY STATEMENT:
POST DEVELOPMENT DISCHARGE DOES NOT EXCEED PRE DEVELOPMENT DISCHARGE.

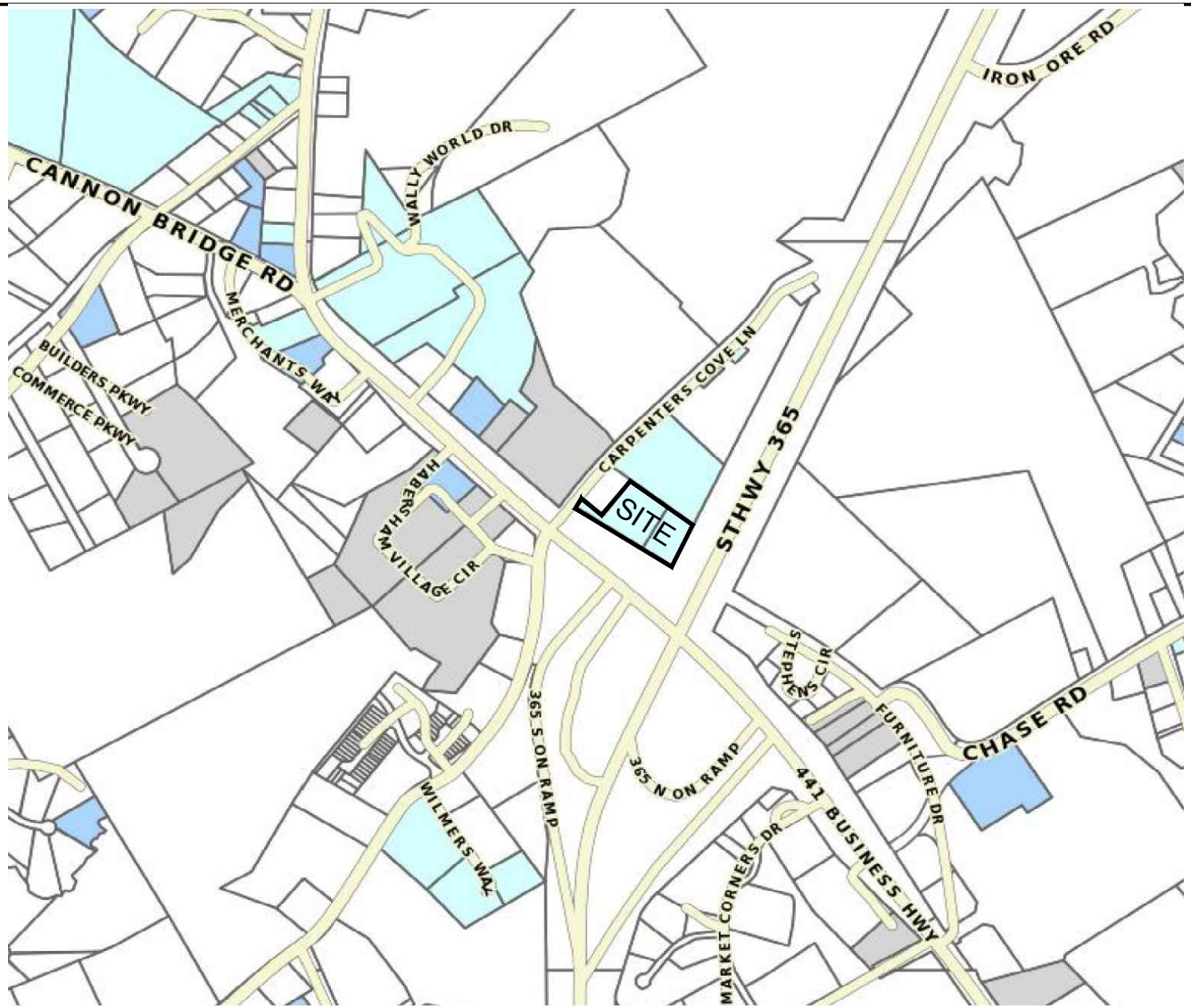


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**Know what's below.
Call before you dig.**

PARCEL ID 083-135A & 083-135
LAND LOT: 105
DISTRICT: 10TH

REVISIONS:	
PROJECT: RETAIL CENTER	
PROJECT ADDRESS: 216 CARPENTERS COVE LN	
PROJECT ADDRESS: CITY OF CORNELIA, GA 30531	
CLIENT: CGP ACQUISITIONS LLC	
CLIENT ADDRESS: 361 SUMMIT BLVD STE 101	
CLIENT ADDRESS: BIRMINGHAM, AL 35243	
DATE: 2/12/18	DWG: PRJ1
Civil Consulting Engineers, Inc.	
 122 CEDAR WOODS TRAIL CANTON, GA 30114 678-462-4072	
GRADING PLAN	
C3	



VICINITY MAP
NTS



- UTILITY NOTES:**
1. STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL WATER AND SANITARY SEWER MAIN CONSTRUCTION.
 2. THE BUILDING CONTRACTOR IS RESPONSIBLE FOR LOCATION, SIZE AND SPECIFICATIONS OF ALL ELECTRICAL TRANSFORMER PADS FROM THE LOCAL POWER COMPANY AND PROVIDING SERVICE FROM THE TRANSFORMER TO THE BUILDING.
 3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS AND IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO EXTRA COST TO THE OWNER.
 4. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OR OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
 5. SANITARY SEWER PIPE SHALL BE PVC SDR 35 ASTM 3034 FOR PIPES LESS THAN 12' DEEP. PVC PIPE SHALL BE BELL & SPICOT TYPE WITH INTEGRAL BELL AND RUBBER GASKETS. DUCTILE IRON CLASS 52 AWA C150, ANS: A21.S1 WITH PUSH ON OR MECHANICAL JOINTS MAY BE SUBSTITUTED FOR PVC PIPE.
 6. SANITARY SEWER PIPE SHALL HAVE A MINIMUM DEPTH OF 6' FEET. PERCENTAGE OF GRADES LISTED FOR SANITARY SEWER LINES WERE CALCULATED FROM THE CENTERLINE OF ONE MANHOLE TO THE CENTERLINE OF THE NEXT MANHOLE.
 7. SEWER SERVICE LATERALS SHALL BE COORDINATED WITH BUILDING PLANS, ANY DISCREPANCIES SHOULD BE CLARIFIED BEFORE INSTALLATION. SEWER SERVICE LATERALS ARE TO BE PERMANENTLY MARKED ON THE CURB.
 8. ALL MANHOLES REQUIRE KOR-N-SEAL OR EQUAL RUBBER BOOTS.
 9. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISH GRADE, AND SHALL HAVE TRAFFIC BEARING LIDS. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSED AREAS MUST MATCH FINISHED GRADE (UNLESS OTHERWISE NOTED). ALL EXISTING MANHOLES & UTILITY BOXES SHALL BE ADJUSTED AS NECESSARY TO MATCH PROPOSED GRADING.
 10. ALL WATER PIPE 4" DIAMETER AND LARGER SHALL BE C900, CLASS 150 PVC WATER PIPE WITH 150 PSI PRESSURE RATING CONFORMING TO AWWA, AND UNBELL PLASTIC PIPE STANDARD SPECIFICATIONS, FITTINGS 4" AND LARGER SHALL BE CAST IRON OR DUCTILE IRON CONFORM WITH WWA STANDARD SPECIFICATIONS.
 11. ALL WATER PIPE 3" AND SMALLER SHALL BE TYPE K COPPER OR SDR 21 PER ANSI 16.22.
 12. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3' OVERALL WATER LINES.
 13. CONTRACTOR SHALL COORDINATE INSTALLATION OF WATER SERVICE WITH WATER DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, PURCHASE AND/OR FEES ASSOCIATED WITH ALL APPARATUS INCLUDING: WATER METERS, BACK FLOW PREVENTERS, POST INDICATOR VALVES, AND ENCLOSURES.
 14. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF WATER AND SEWER LINE IS (10') TEN FEET. THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINES IS (18") EIGHTEEN INCHES.
 15. ALL FIRE HYDRANTS SHALL CONFORM TO LOCAL REQUIREMENTS.
 16. ALL DOMESTIC WATER LEADS SHALL HAVE REDUCED PRESSURE VALVES AS DIRECTED BY THE OWNER'S ARCHITECT.
 17. EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED FOR LOCATION AND NUMBER BY THE CONTRACTOR.
 18. ALL ELECTRIC, TELEPHONE AND GAS LINES, INCLUDING SERVICE LINES, ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANIES SPECIFICATIONS.
 19. CONTRACTOR TO COORDINATE INSTALLATION OF ALL UTILITIES BY OTHERS WITH HIS WORK.
 20. PRIMARY ELECTRIC SERVICE IS PROVIDED BY THE POWER COMPANY. THIS INCLUDES THE TRANSFORMER AND PAD, TRENCHING, BACKFILL AND COMPACTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND FEES ASSOCIATED WITH POWER SERVICE AS WELL AS SECONDARY SERVICE.
 21. GAS LINES ARE INDICATED FOR COORDINATION ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND FEES ASSOCIATED WITH GAS SERVICE.
 22. GAS AND UNDERGROUND ELECTRIC LINES ARE SHOWN FOR COORDINATION ONLY. EXACT LOCATION WILL BE FIELD DETERMINED DURING CONSTRUCTION.

GREASE TRAP CALCS:
25 SEATS
15 GAL/SEAT
16 HOURS
LOAD FACTOR 1/12
GT SIZE=25x15x16x4=500
USE GT SIZE=1,000 GAL

PARCEL ID 083-135A & 083-135
LAND LOT: 105
DISTRICT: 10TH

REVISIONS:	
PROJECT: RETAIL CENTER	
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CLIENT: JETS ASSOCIATES, LTD	
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DATE: 2/12/18	DWG: PRJ1
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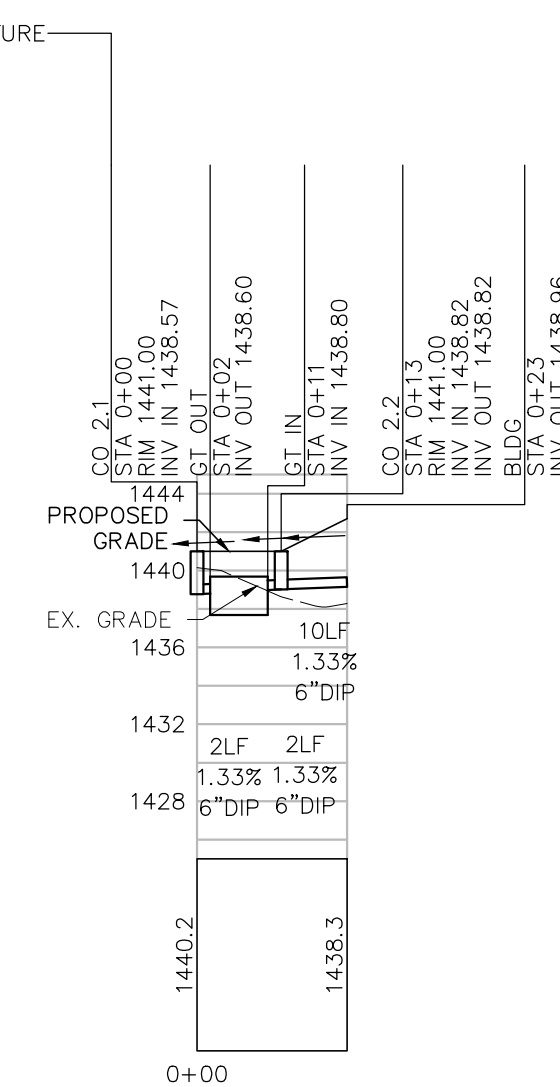
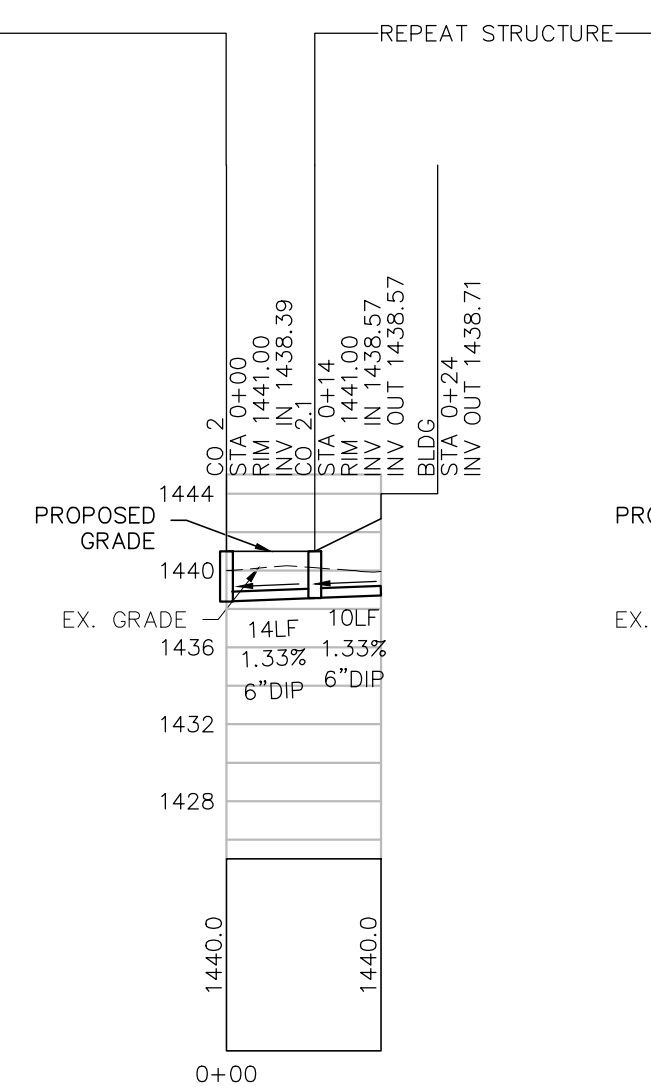
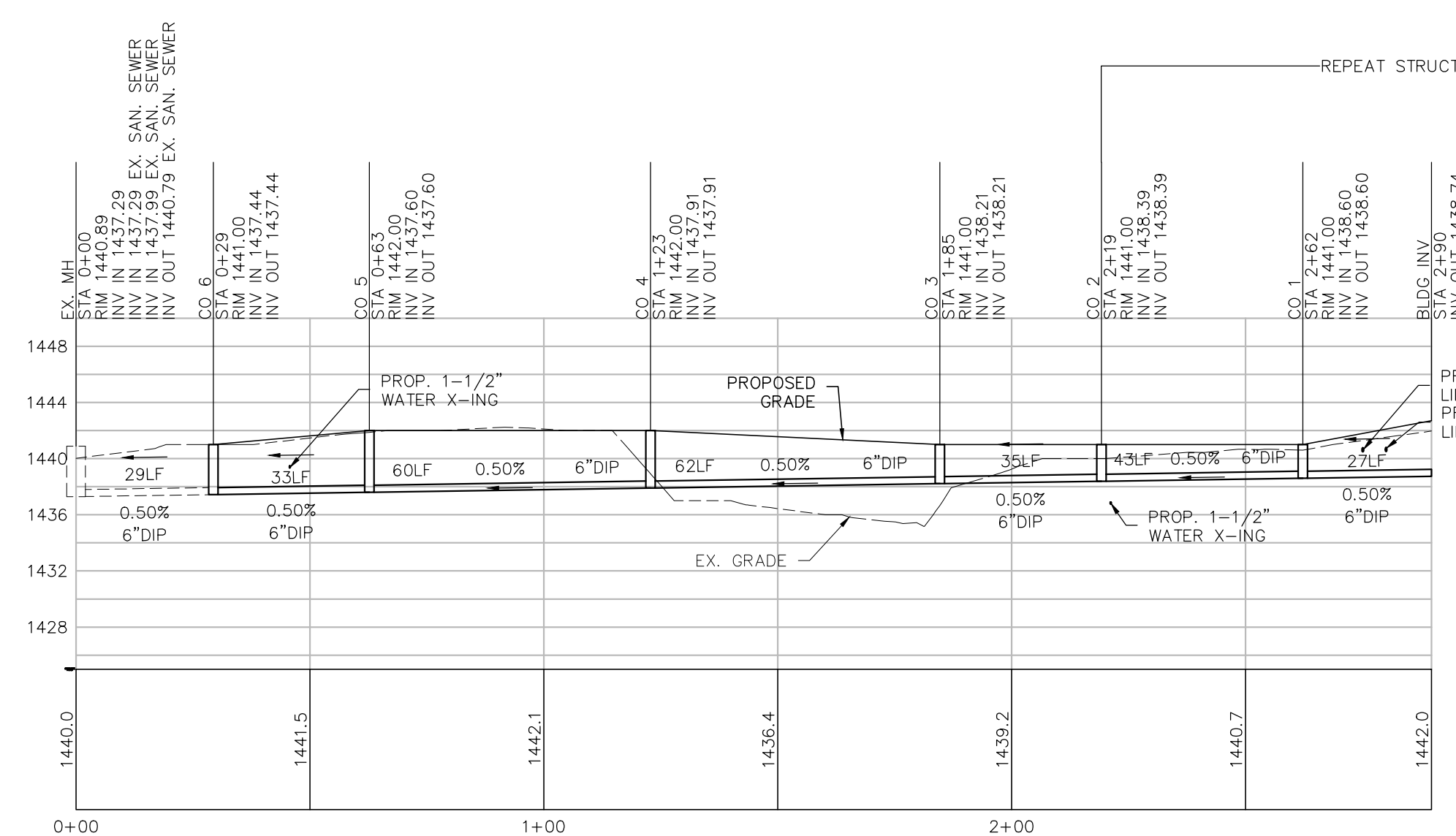
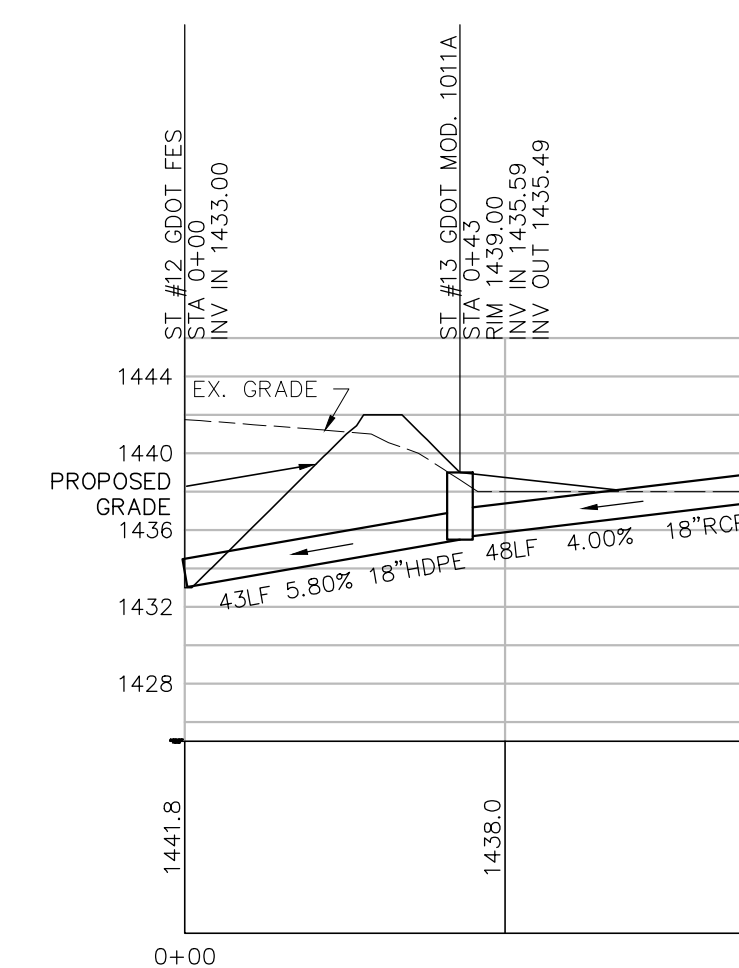
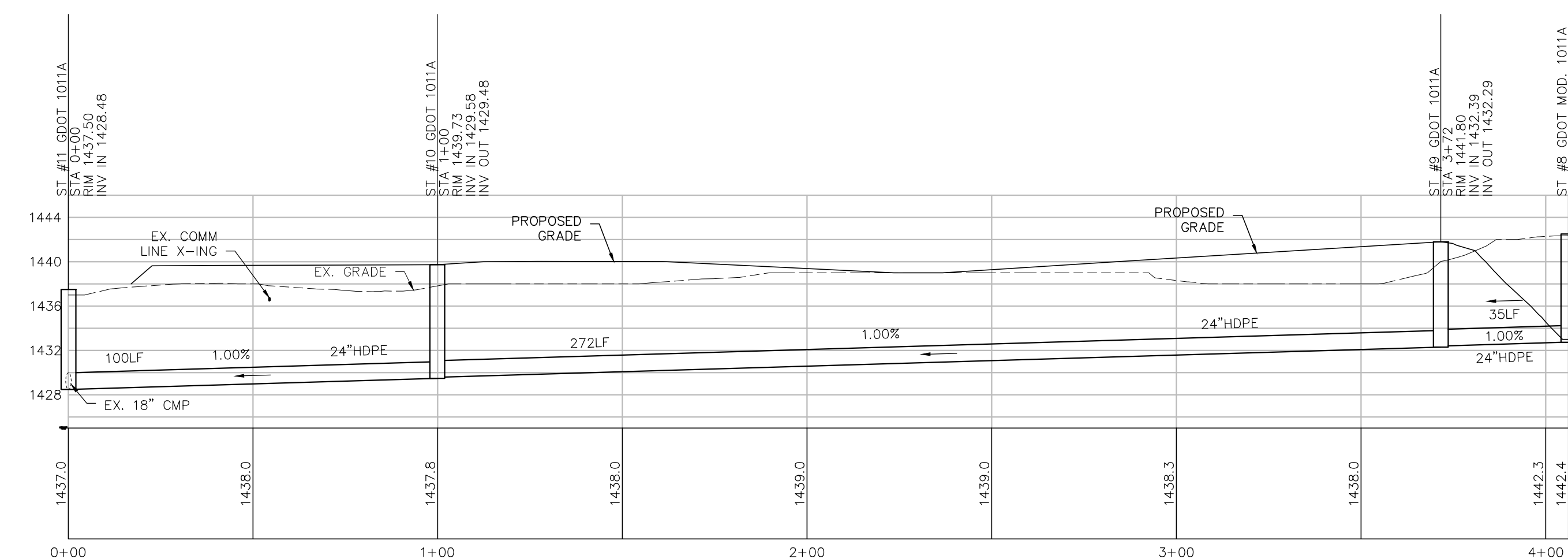
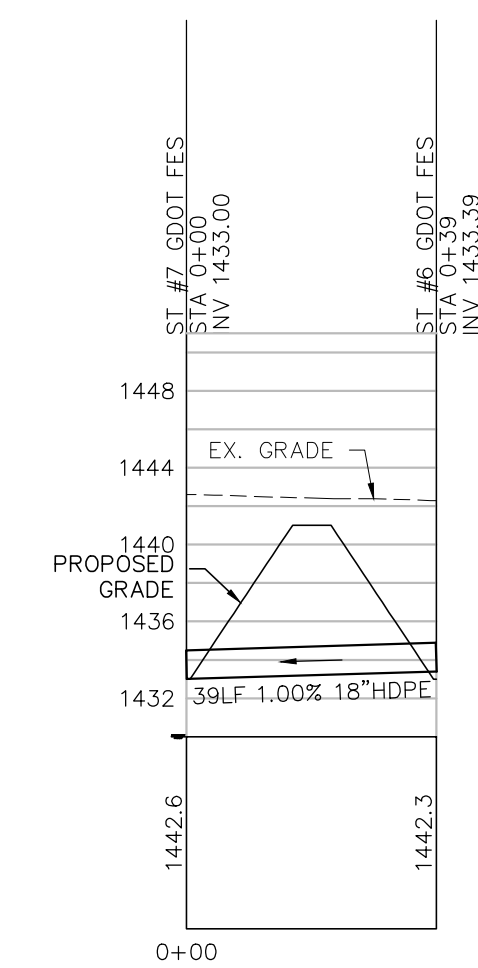
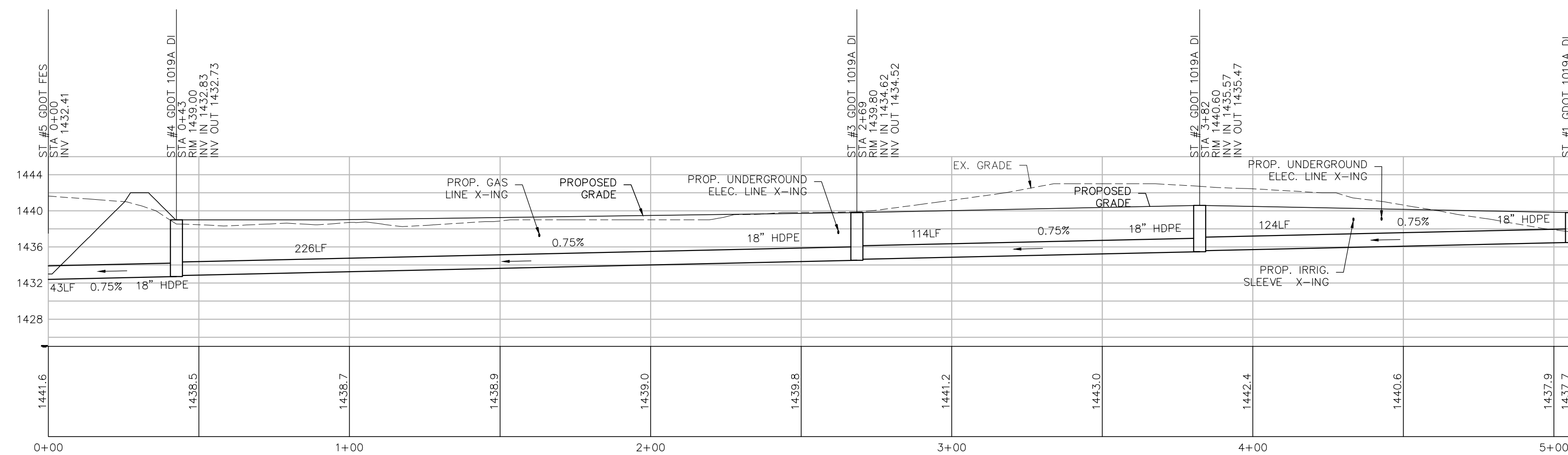
Civil Consulting Engineers, Inc.

122 CEDAR WOODS TRAIL
CANTON, GA 30114
678-462-4072

IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION AS THE LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND POSSIBLY INCOMPLETE. THEREFORE CERTIFICATION TO THE LOCATION OF ALL UNDERGROUND UTILITIES ARE WITHHELD.

Know what's below.
Call before you dig.

24 HOUR EMERGENCY CONTACT: GREG CRAFT 678.361.4854



DWG: PRJI

Civil Consulting Engineers, Inc.

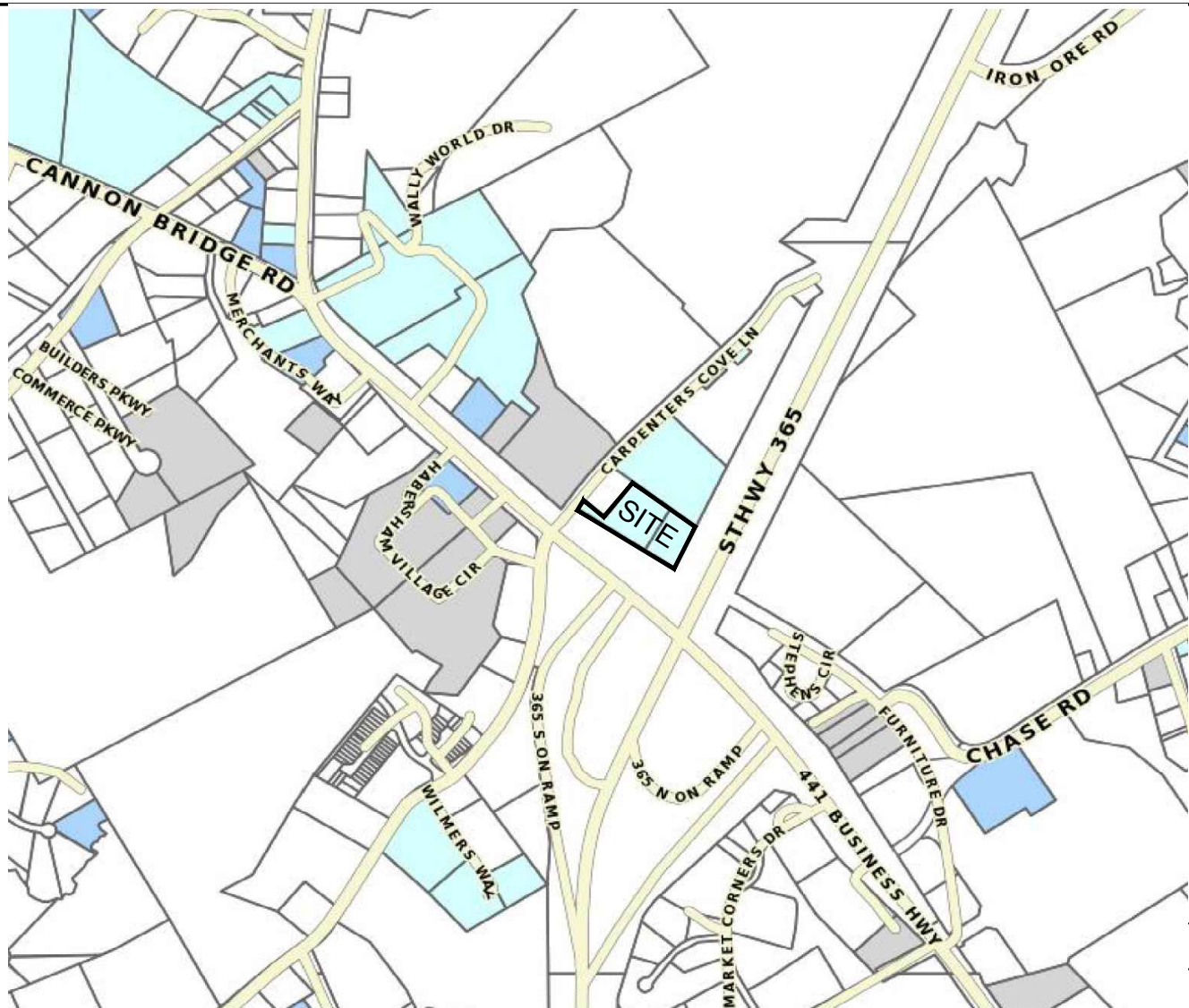


122 CEDAR WOODS TRAIL
CANTON, GA 30114
678-462-4072

PIPE PROFILES

C5

24 HOUR EMERGENCY CONTACT: GREG CRAFT 678.361.4854



VICINITY MAP
NTS

OWNER/DEVELOPER/PRIMARY PERMITTEE

JETS ASSOCIATES, LTD
641 LAKE DRIVE
VERO BEACH, FL 32963
PHONE: (770)-309-3222

DESCRIPTION:

The property is a 2.54 Acre built upon lot that has previously been demoed located at U.S Hwy 441 City of Cornelia, Georgia. The site has been cleared and graded. The property is zoned B-1 which is consistent with the area.
The property drains, sheet flow, from N to S with a modest 2% +/- slope. Detention will be provided on site. The plans are consistent with the Manual for Erosion and Sediment Control in Georgia and indicate three phases of control.

DESCRIPTION OF CONSTRUCTION ACTIVITY:

The project will build one free standing restaurant building. Associated parking lot and required infrastructure will be constructed. The drainage basin and path will be unaltered with the exception of the installation of a detention pond.

This property is not within 200' of a state water.

To prevent the erosion and sediment runoff, a stoned construction entrance (Co) will be placed at the site entrance; a silt fence (Sd1-S) shall be placed where needed; a retrofit pond (Rt) will be placed with a floating surface skimmer (Sk); temporary and permanent seeding and mulch (Ds1, Ds2, Ds4) will be placed. All erosion control BMPs shall be maintained throughout construction.

THERE ARE NO BURIAL PITS ALLOWED ON SITE. ALL DEBRIS SHALL BE HAULED OFF TO A STATE APPROVED LANDFILL. SALE TIMBER FROM THE SITE WILL REQUIRE A SALES TAX REPORTING.

ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AFTER 14 DAYS.

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SEDIMENT STORAGE MAINTENANCE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE $\frac{1}{3}$ FULL VOLUME

MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE PROPERTY OWNER.

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THIS SITE DRAINS TO UNNAMED TRIBUTARY OF NORTH FORK MUD CREEK

THIS SITE IS WITHIN 1 LINEAR MILE UPSTREAM OF WATERSHED

STORMWATER MANAGEMENT PLAN FOR THIS LOT IS PART OF AN OVERALL PLAN FOR THE ENTIRE DEVELOPMENT AS DETAILED IN A HYDROLOGY STUDY BY CIVIL CONSULTING ENGINEERING, INC.

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PRE-DEVELOPED ESTIMATED RUNOFF COEFFICIENT CN = 55
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THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.

ANY AMENDMENT TO THE EROSION CONTROL PLANS WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ANTICIPATED ACTIVITY SCHEDULE

ACTIVITY	MAR 2018	APR 2018	MAY 2018	JUN 2018	JUL 2018
1 INSTALL CONST. ENTRANCE/EXIT					
2 INSTALL PERIMETER E&S CONTROLS AND					
3 CLEARING AND GRUBBING					
4 GRASSING AND MULCH					
5 INSTALL SEDIMENT POND					
6 STORM DRAIN INSTALLATION					
7 SANITARY SEWER INSTALLATION					
8 BRING TO FINAL GRADE					
9 UTILITY INSTALLATION					
10 MAINTAIN EROSION CONTROL					
11 BLDG. CONST. AND PAVING					
12 FINAL LANDSCAPING					
13 CLEAN UP					

I, Terry Boomer shall inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation.

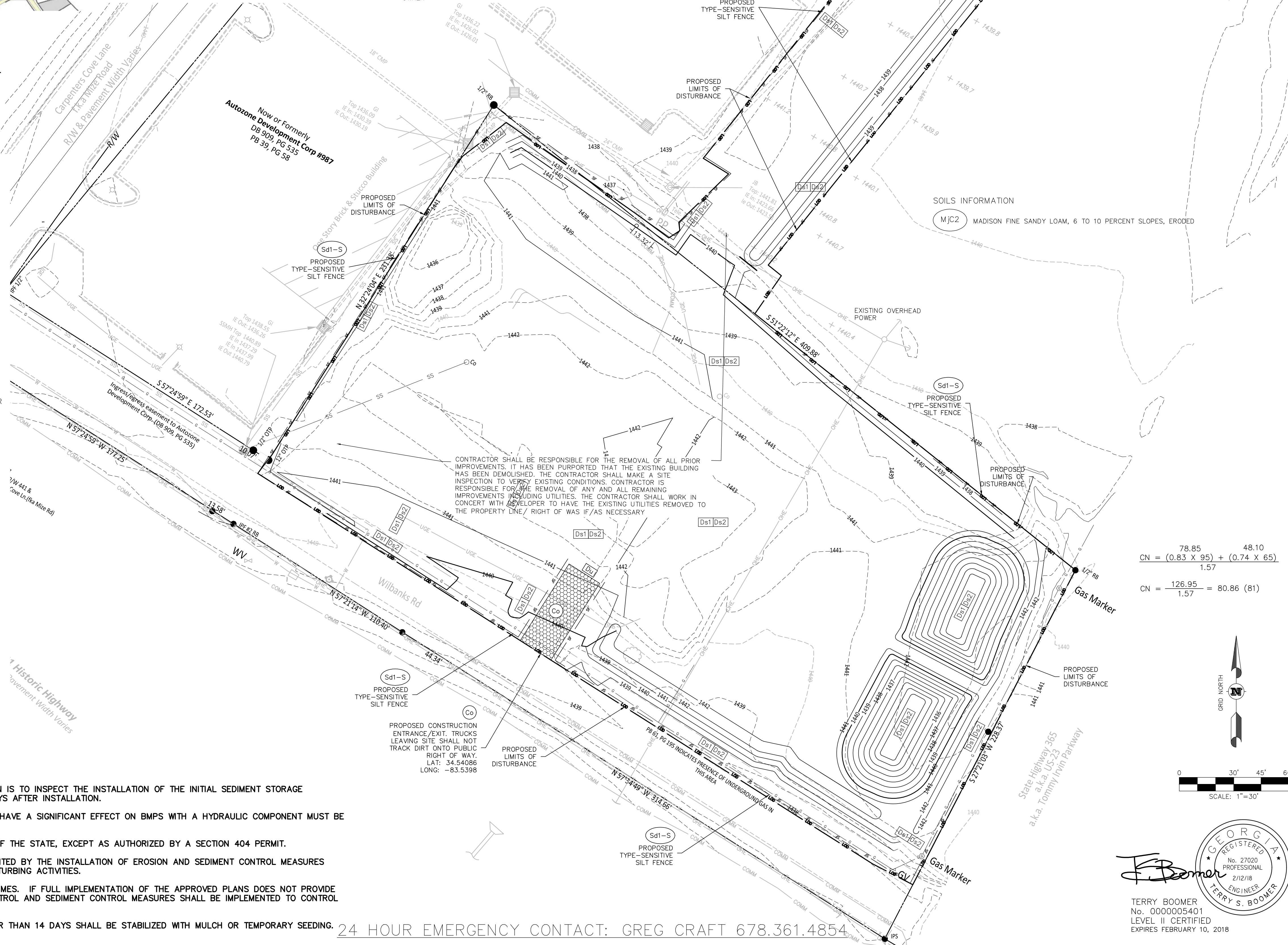
"I certify under penalty of law that this Plan was prepared after a site visit to the locations described herein by myself or my authorized agent, under my supervision."

"I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of best management practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment control in Georgia" (Manual) published by the State Soil and Water Conservation commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water or the sampling of the storm water outfalls and that the designed system of best management practices and sampling methods is expected to meet the requirements contained in the General Water Quality Control Act No GAR 100003."

Signed Terry Boomer Date 2/12/18
No. 0000005401
Level II Certified
Expires February 10, 2018

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that certified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signed OWNER Date _____



EROSION CONTROL NOTES:
ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL CONFORM TO THE LATEST EROSION AND SEDIMENT CONTROL REGULATIONS FOR THE STATE, COUNTY, OR CITY.

2. EROSION CONTROL MEASURES TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES. SILT FENCE TO BE USED UNLESS OTHERWISE INDICATED.

3. SILT FENCE MUST MEET REQUIREMENTS OF THE SPECIFICATIONS CONTAINED IN THE CONSTRUCTION DETAILS OR AN EQUIVALENT PRODUCT APPROVED BY THE OWNER'S REPRESENTATIVE.

4. PRIOR TO ANY OTHER CONSTRUCTION A STABILIZED CONSTRUCTION ENTRANCE SITE, THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE OR SITE ONTO PUBLIC ROADWAY OR INTO STORM DRAIN MUST BE REMOVED IMMEDIATELY.

5. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS. IF WETLAND EXIST ON-SITE ANY CLEARING MUST BE IN ACCORDANCE WITH THE WETLANDS PERMIT.

6. IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCES/EXITS, ALL PERIMETER EROSION DEVICES AND STORMWATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.

7. OWNER AGREES TO PROVIDE AND MAINTAIN OFF-STREET PARKING ON THE SUBJECT PROPERTY DURING THE ENTIRE CONSTRUCTION PERIOD.

8. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.

9. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

10. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT PONDS WHEN REQUIRED BY ENGINEER OR OWNER'S REPRESENTATIVE.

11. THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL IN THE SEDIMENTATION POND, SILT SHALL BE REMOVED WHEN A DEPTH OF 18" HAS ACCUMULATED AT THE OUTLET STRUCTURE.

12. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB UNTIL SUCH MEASURES ARE CORRECTED.

13. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.

14. ALL OPEN SWALES MUST BE GRASSED AND RIP-RAP PLACED AS REQUIRED TO CONTROL EROSION. A MINIMUM OF 4.5 SQUARE YARDS OF 50-LB STONES SHALL BE PLACED AT ALL DOWNSTREAM HEADWALLS. THE PLACEMENT OF RIP-RAP AT THE DOWNSTREAM HEADWALLS SHALL BE PLACED IMMEDIATELY UPON THE INSTALLATION OF PIPES AND DRAINAGE DITCHES.

15. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.


16. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.

17. EROSION AND SEDIMENT CONTROL SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE, INSTALLATION, MAINTENANCE AND REMOVAL AS REQUIRED BY THE REGULATIONS OF THE STATE. THE INSTALLATION OF THE REQUIRED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS A FIRST STEP IN CONSTRUCTION.

18. CONTRACTOR TO MAINTAIN ON-SITE DAILY LOG OF ALL MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES. LOG SHALL BE MADE AVAILABLE FOR INSPECTION AT ALL TIMES.

19. THE CONTRACTOR IS RESPONSIBLE TO SUBMIT THE NPDES NOTICE OF INTENT AND NOTICE OF TERMINATION TO THE APPROPRIATE STATE AGENCY.

TOTAL SITE AREA: 2.55 AC
TOTAL DISTURBED AREA: 1.15 AC



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Know what's below.
Call before you dig.

PARCEL ID 083-135A & 083-135
LAND LOT: 105
DISTRICT: 10TH

REVISIONS:

PROJECT: RETAIL CENTER

PROJECT ADDRESS: 216 CARPENTERS COVE LN

PROJECT ADDRESS: CITY OF CORNELIA, GA 30531

CLIENT: JETS ASSOCIATES, LTD

CLIENT ADDRESS: 641 LAKE DRIVE

CLIENT ADDRESS: VERO BEACH, FL 32963

DATE: 2/12/18 DWG: PRJI

Civil Consulting Engineers, Inc.

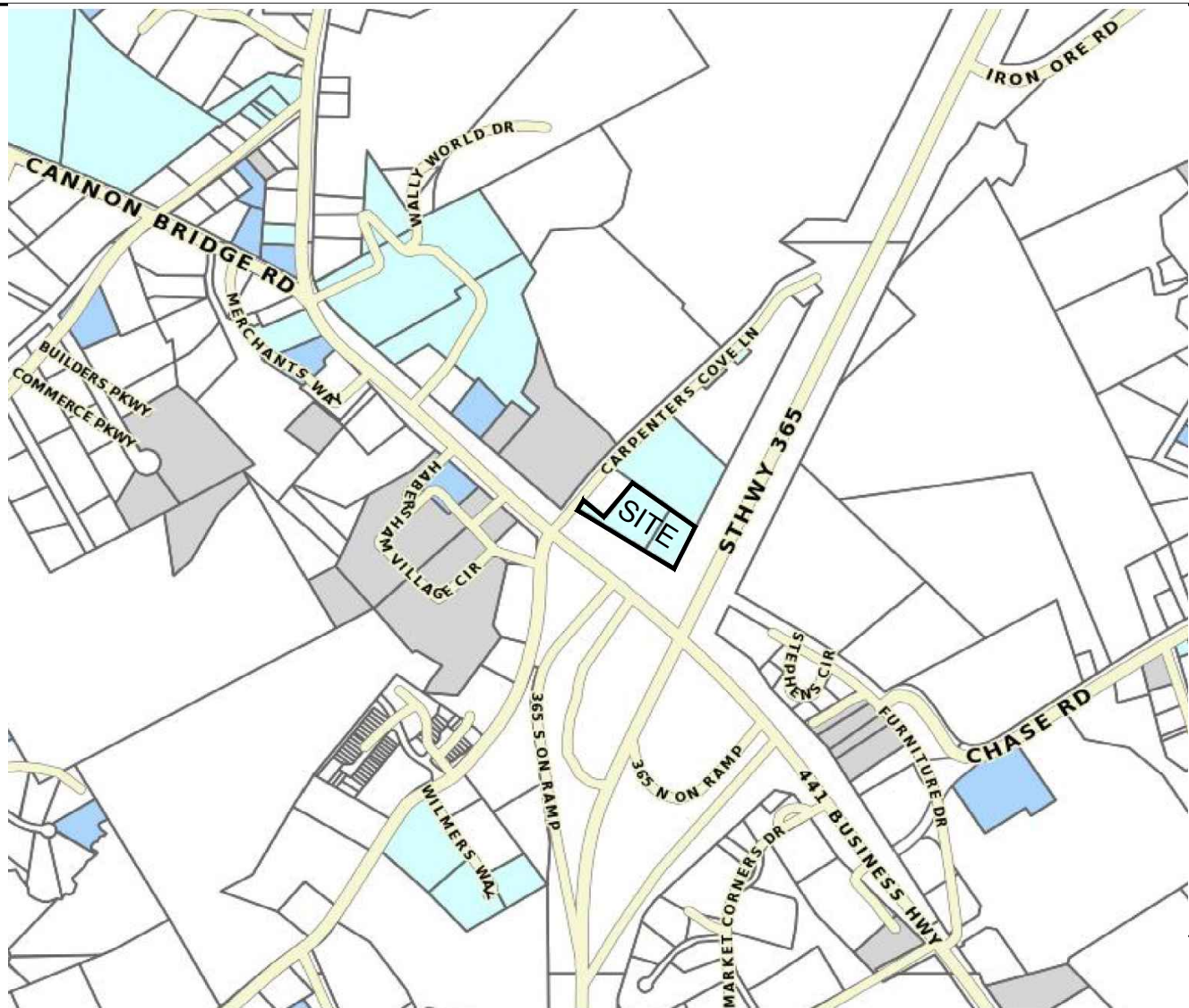


122 CEDAR WOODS TRAIL
CANTON, GA 30114
678-462-4072

EROSION CONTROL PH. I

C6

24 HOUR EMERGENCY CONTACT: GREG CRAFT 678.361.4854



VICINITY MAP
NTS

OWNER/DEVELOPER/PRIMARY PERMITTEE

JETS ASSOCIATES, LTD
641 LAKE DRIVE
VERO BEACH, FL 32963
PHONE: (770)-309-3222

DESCRIPTION:

The property is a 2.54 Acre built upon lot the has been previously demoed located at U.S Hwy 441 City of Cornelia, Georgia. The site has been cleared and graded. The property is zoned B-1 which is consistent with the area.
The property drains sheet flow, from N to S with a modest 2% +/- slope. Detention will be provided on site. The plans are consistent with the Manual for Erosion and Sediment Control in Georgia and indicate three phases of control.

DESCRIPTION OF CONSTRUCTION ACTIVITY:

The project will build one free standing restaurant building. Associated parking lot and required infrastructure will be constructed. The drainage basin and path will be unaltered with the exception of the installation of a detention pond.

This property is not within 200' of a state water.

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12 FINAL LANDSCAPING					
13 CLEAN UP					

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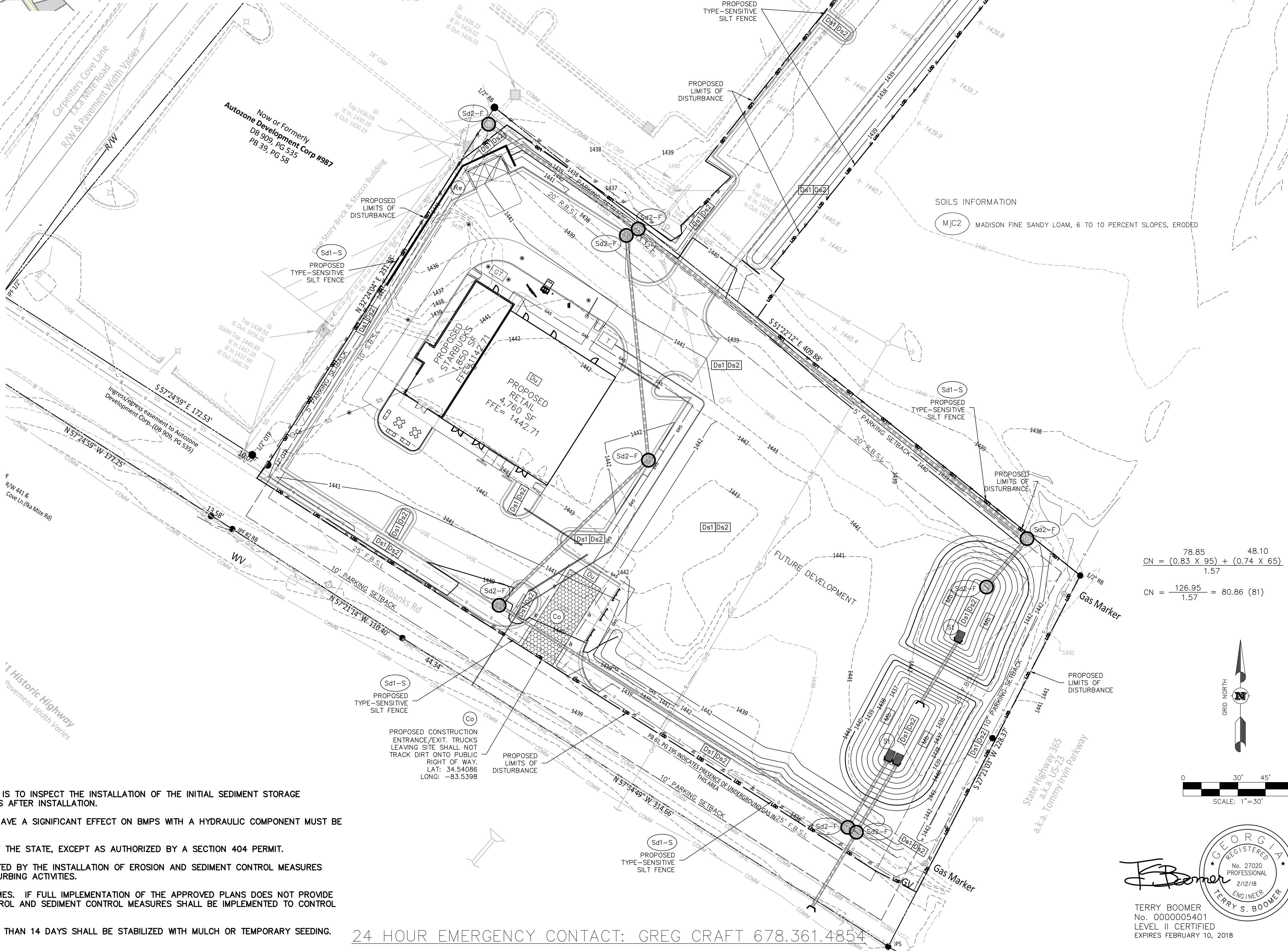
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Signed Terry Boomer Date 2/12/18
No. 0000005401
Level II Certified
Expires February 10, 2018

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that certified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signed OWNER Date



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18. CONTRACTOR TO MAINTAIN ON-SITE DAILY LOG OF ALL MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES. LOG SHALL BE MADE AVAILABLE FOR INSPECTION AT ALL TIMES.

19. THE CONTRACTOR IS RESPONSIBLE TO SUBMIT THE NPDES NOTICE OF INTENT AND NOTICE OF TERMINATION TO THE APPROPRIATE STATE AGENCY.

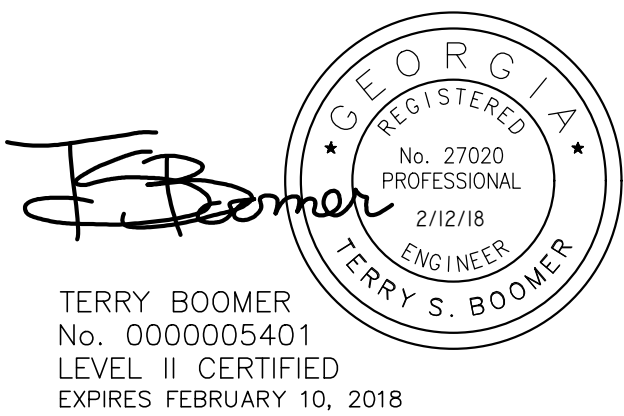
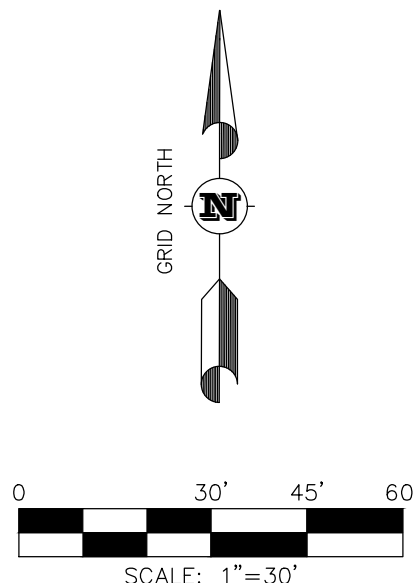
TOTAL SITE AREA: 2.55 AC
TOTAL DISTURBED AREA: 1.15 AC




IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION AS THE LOCATION OF UTILITIES SHOWN ON THIS PLAT ARE APPROXIMATE AND POSSIBLY INCOMPLETE. THEREFORE CERTIFICATION TO THE LOCATION OF ALL UNDERGROUND UTILITIES ARE WITHHELD.

PARCEL ID 083-135A & 083-135
LAND LOT: 105
DISTRICT: 10TH

$$CN = \frac{78.85}{1.57} = 48.10$$
$$CN = \frac{126.95}{1.57} = 80.86 \text{ (81)}$$

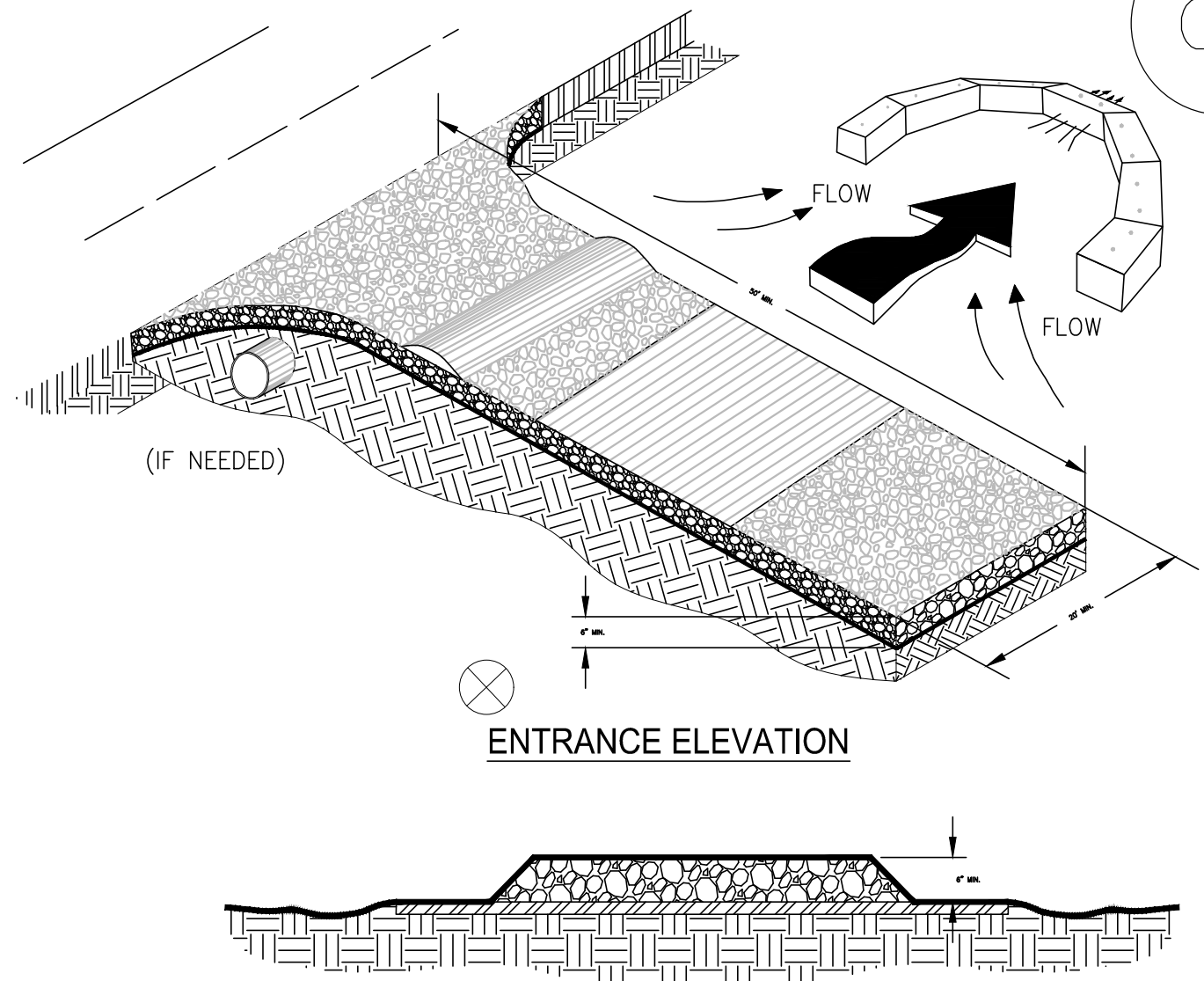


24 HOUR EMERGENCY CONTACT: GREG CRAFT 678.361.4854

REVISIONS:	
PROJECT: RETAIL CENTER	
PROJECT ADDRESS: 216 CARPENTERS COVE LN	
PROJECT ADDRESS: CITY OF CORNELIA, GA 30531	
CLIENT: JETS ASSOCIATES, LTD	
CLIENT ADDRESS: 641 LAKE DRIVE	
CLIENT ADDRESS: VERO BEACH, FL 32963	
DATE: 2/12/18	DWG: PRJ1
Civil Consulting Engineers, Inc.	
 122 CEDAR WOODS TRAIL CANTON, GA 30114 678-462-4072	
EROSION CONTROL PH. II	C7

CRUSHED STONE CONSTRUCTION EXIT

EXIT DIAGRAM



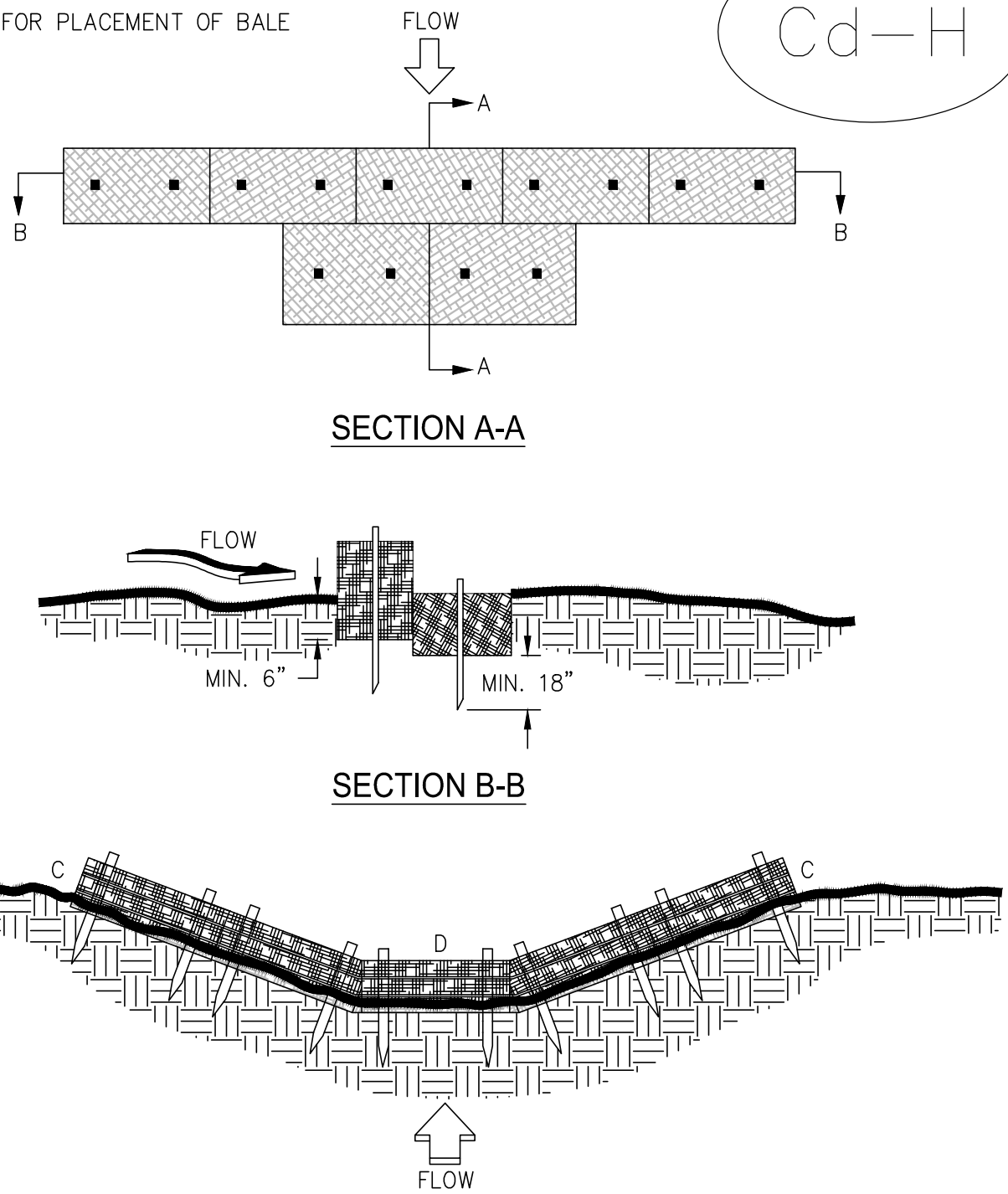
NOTES:

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

TYPICAL STRAW BALE CHECK DAM

PLAN

SEE DETAIL FOR PLACEMENT OF BALE



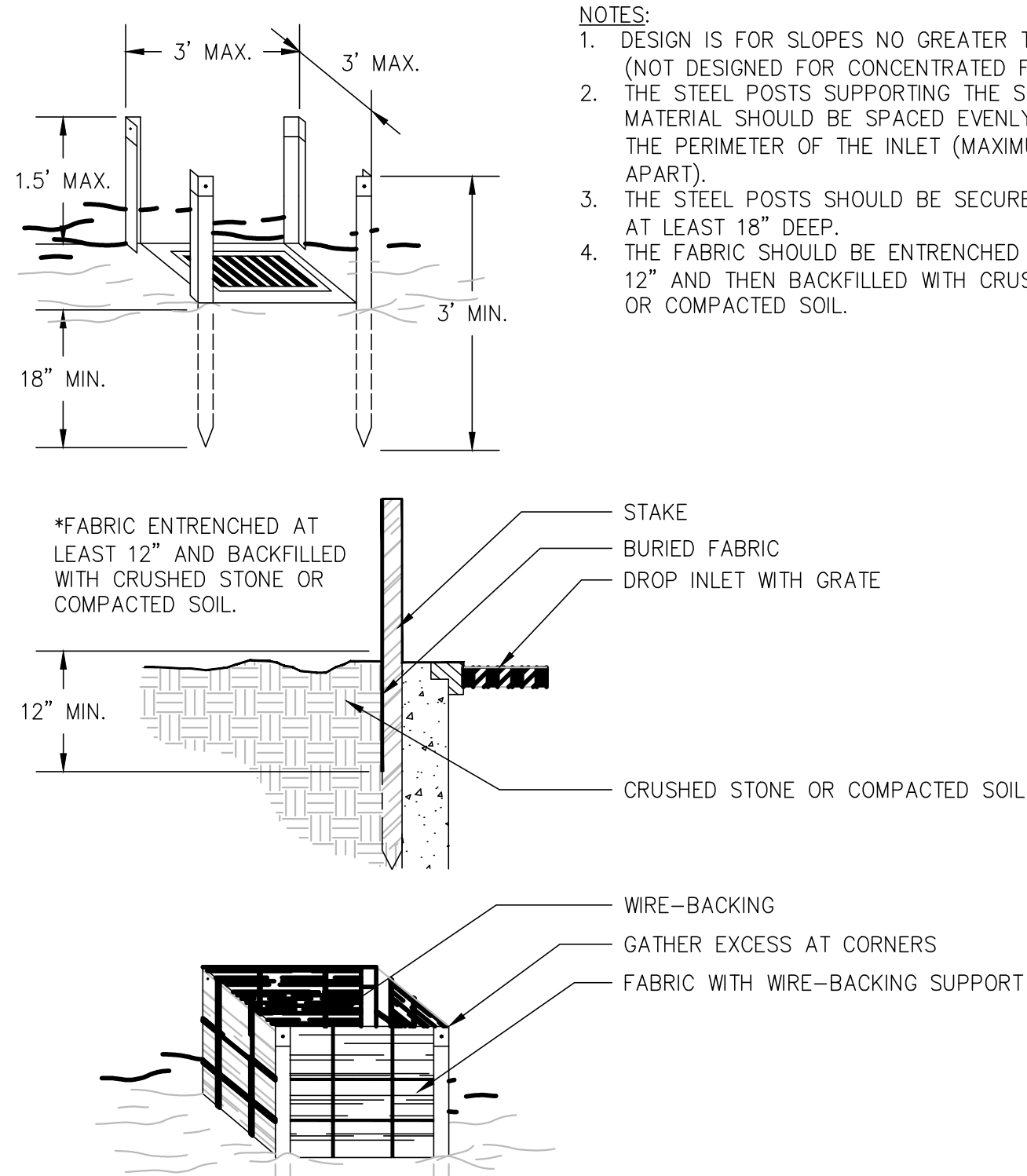
NOTES:

1. BALES SHOULD BE BOUND WITH WIRE OR NYLON STRING AND SHOULD BE PLACED IN ROWS WITH BALE ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. REMOVE #4 REBAR AFTER STRAW BALES ARE NO LONGER IN PLACE.
3. POINT C OF SECTION B-B SHOULD ALWAYS BE HIGHER THAN POINT D.

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

Sd2-F

STEEL FRAME AND SILT FENCE INSTALLATION



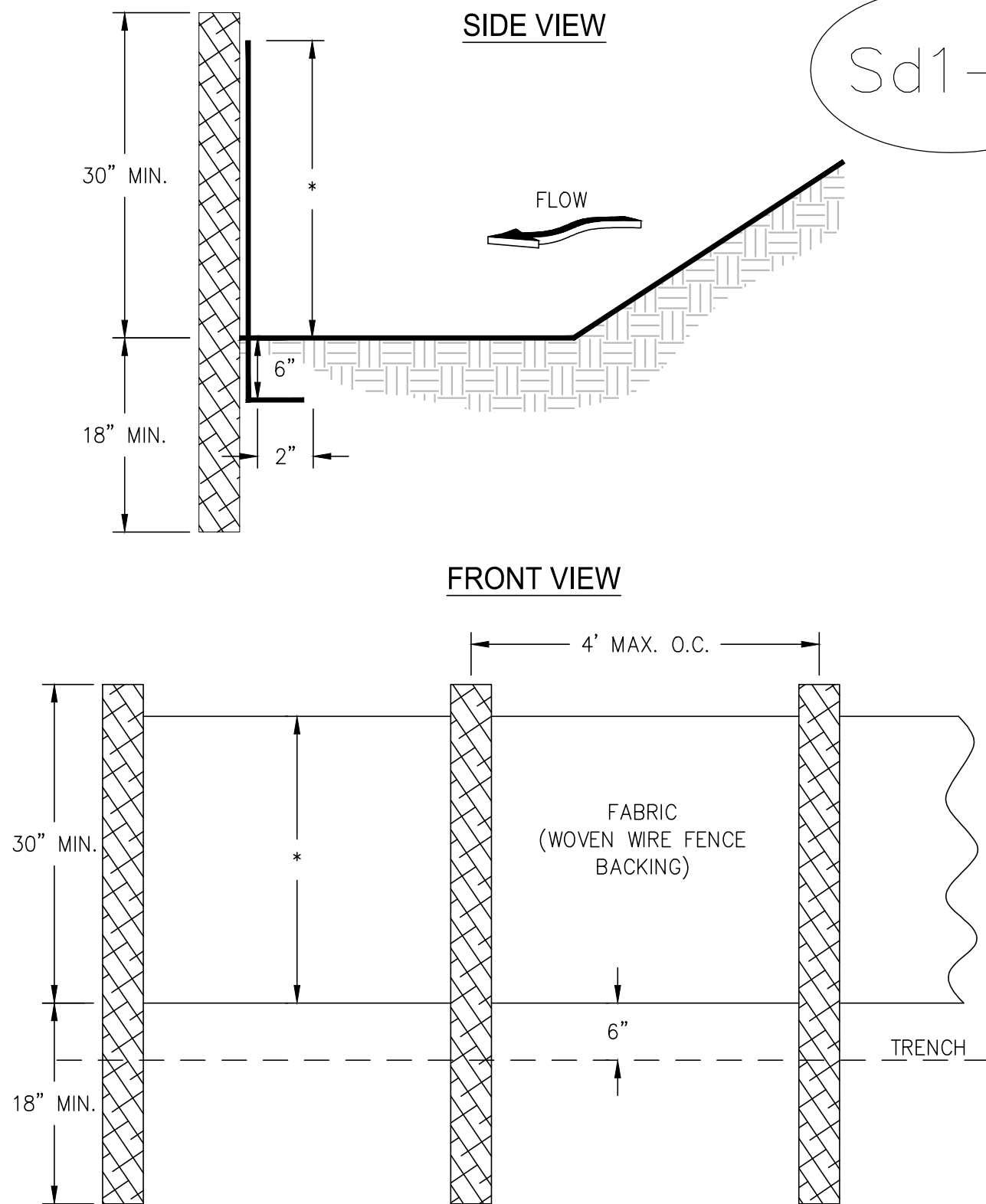
NOTES:

1. DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.

SILT FENCE - TYPE SENSITIVE

SIDE VIEW

Sd1-S

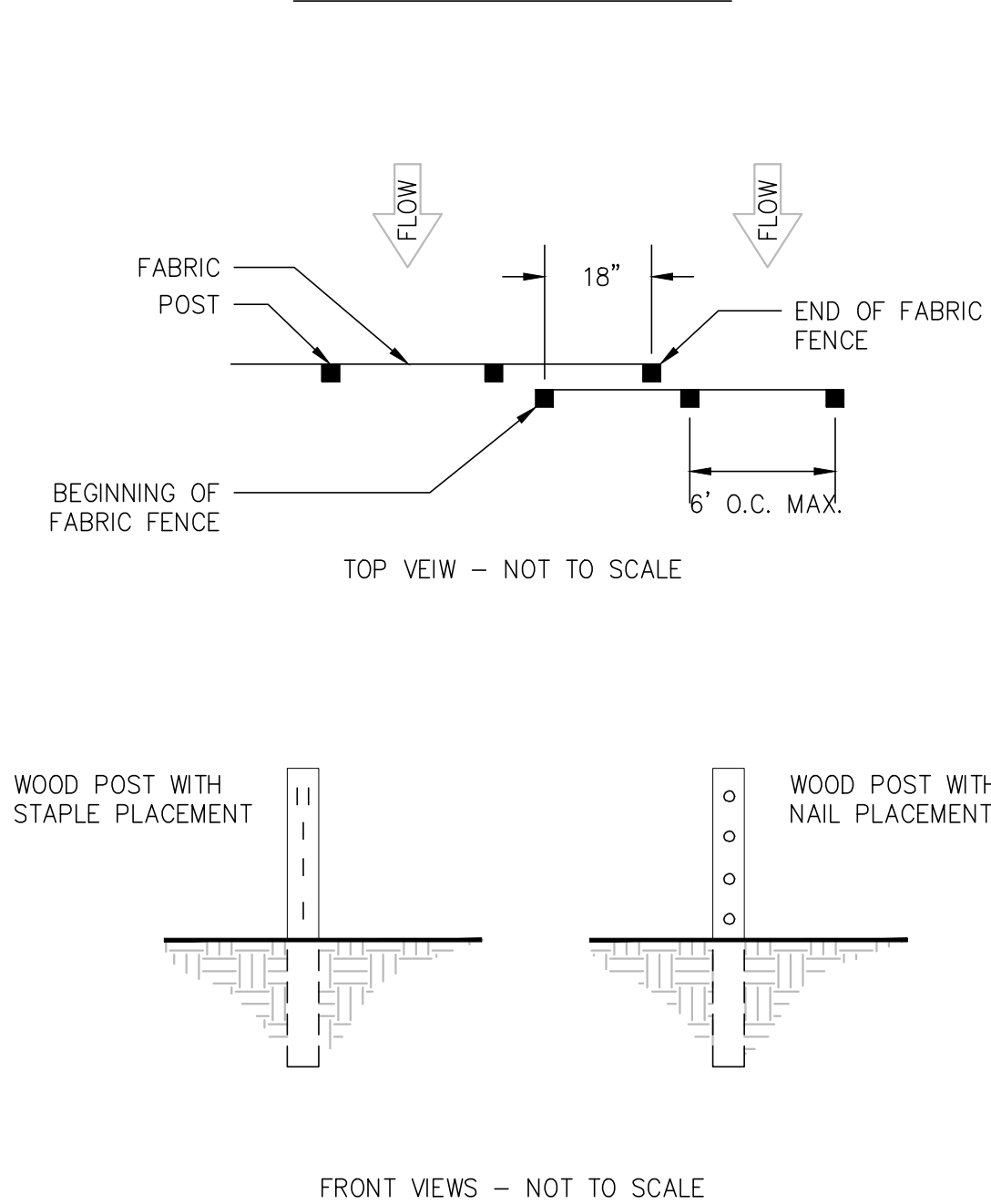


NOTES:

1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

FASTENERS FOR SILT FENCES

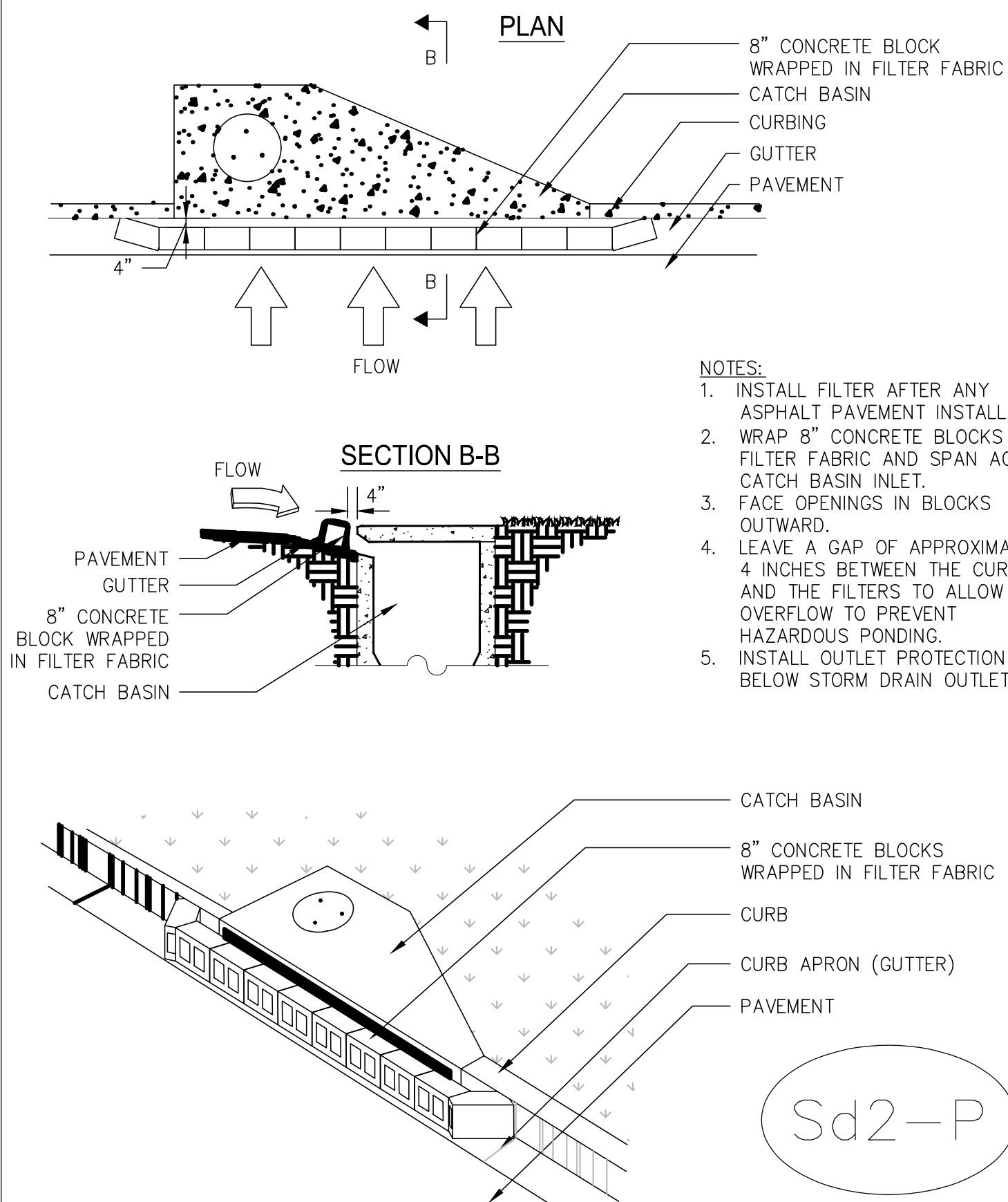
OVERLAP AT FABRIC ENDS



NOTES:

1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

CURB INLET FILTER "PIGS IN BLANKET"



NOTES:

1. INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION.
2. WRAP 8" CONCRETE BLOCKS IN FILTER FABRIC AND SPAN ACROSS CATCH BASIN INLET.
3. FACE OPENINGS IN BLOCKS OUTWARD.
4. LEAVE A GAP OF APPROXIMATELY 4 INCHES BETWEEN THE CURB AND THE FILTERS TO ALLOW FOR OVERFLOW TO PREVENT HAZARDOUS PONDING.
5. INSTALL OUTLET PROTECTION BELOW STORM DRAIN OUTLETS.

CRITICAL AREA VEGETATIVE PLAN

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT & FILL SLOPES, SHOULDERS & OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGES FROM SEDIMENT & RUNOFF TO DOWNSTREAM AREAS & TO IMPROVE THE SAFETY & BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING & CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL & SUBSTRATA. FERTILITY IS LOW & THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT:

GRADE, SHAPE & SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION. SEEDING TIME & FOR MAINTENANCE PURPOSES. THE LIME & FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4" AS DETERMINED ON-SITE. THE SEED BED MUST BE WELL PULVERIZED, SMOOTHED & FIRMED. SEEDING WILL BE DONE WITH CULT-PACKER SEEDER, DRILL, ROTARY SEEDER OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED & COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25% OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER TYPE MULCH EQUIPMENT OR BY HAND & ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

A. SEEDING WITH MULCH: (CONVENTIONAL SEEDING EQUIPMENT ON SLOPES LESS THAN 3:1)

AGRICULTURAL LIMESTONE	4000 LBS./ACRE
FERTILIZER, 5-10-15	1500 LBS./ACRE
MULCH, STRAW OR HAY	5000 LBS./ACRE

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
HULLED COMMON BERMUDAGRASS	10 LBS.	3/1 - 6/15
FESCUE	50 LBS.	9/1 -
10/31		
FESCUE	50 LBS.	11/1 -
2/28		
RYE GRASS	50 LBS.	
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 -
8/31		

B. TOPDRESSING: APPLY WHEN PLANTS ARE 2-4" TALL

FERTILIZER (AMMONIUM NITRATE 33.5%) 3000 LBS./ACRE

C. SECOND YEAR FERTILIZER: (5-10-15 OR EQUIVALENT) 800 LBS./ACRE

CRITICAL AREA VEGETATIVE PLAN

Ds1, Ds2 & Ds3

N.T.S.

TEMPORARY GRASSING

SPECIES	RATE / 1000 SF.	PLANTING DATES	FERTILIZER	RATE / 1000 SF.
MILLET	1.0-2.0 LB.	MAY 15 TO JULY 31	6-12-12	25-35 LB.
RYE	2.0-3.0 LB.	OCT. 15 TO FEB. 15	6-12-12	25-35 LB.

PERMANENT GRASSING

SPECIES	RATE / 1000 SF.	PLANTING DATES	FERTILIZER	RATE / 1000 SF.
WEeping LOVEGRASS & VIRGATA OR SERICEA LESPEDEZIA (SCARIFIED)	0.2-0.4 LB. TO 1.0-2.0 LB.	MARCH 1 TO JUNE 15	6-12-12	25-35 LB.
ALL FESCUE GRASS	8.0-10.0 LB.	SEPT. 1 TO NOV. 1	6-12-12	25-35 LB.
BERMUDA GRASS (HULLED)	1.0-2.0 LB. TO 2.0-3.0 LB.	MARCH 15 TO JUNE 15 OCT. 1 TO MARCH 15	6-12-12 6-12-12	25-35 LB. 25-30 LB.
STRAW MULCH	90 LB.	ANY TIME FOR TEMPORARY COVER.		

E-15

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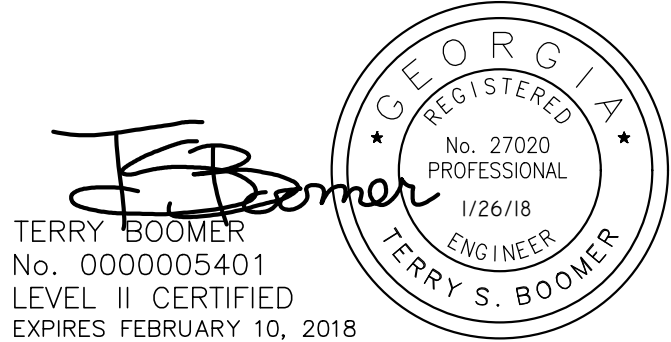
DATE: 1/26/18

DWG: PRJI

Civil Consulting Engineers, Inc.



122 CEDAR WOODS TRAIL
CANTON, GA 30114
678-462-4072



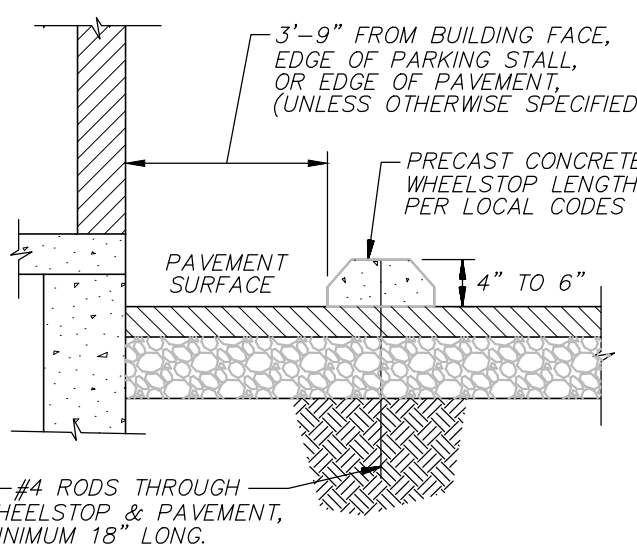
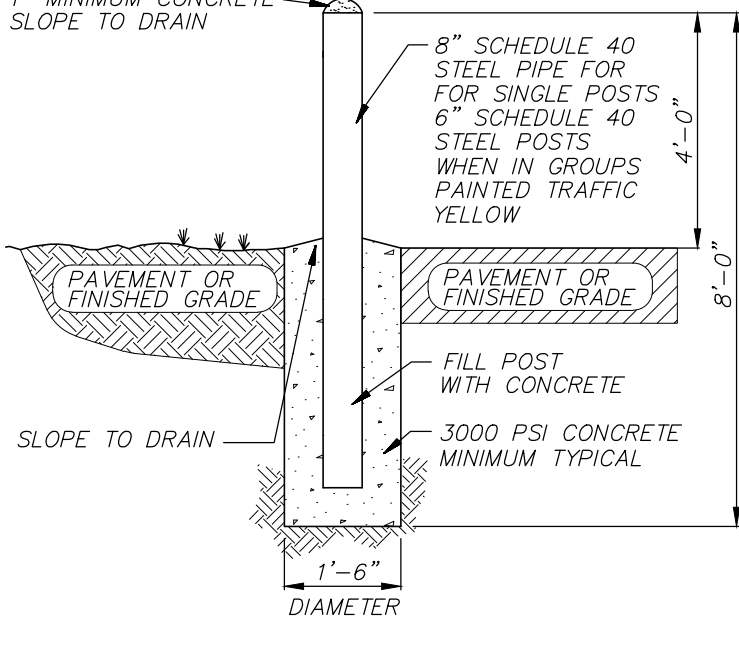
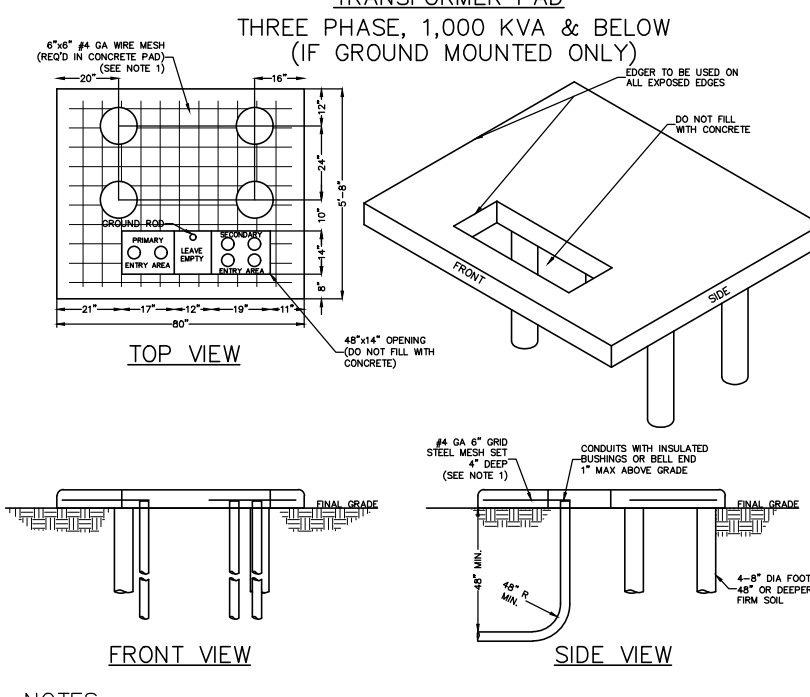
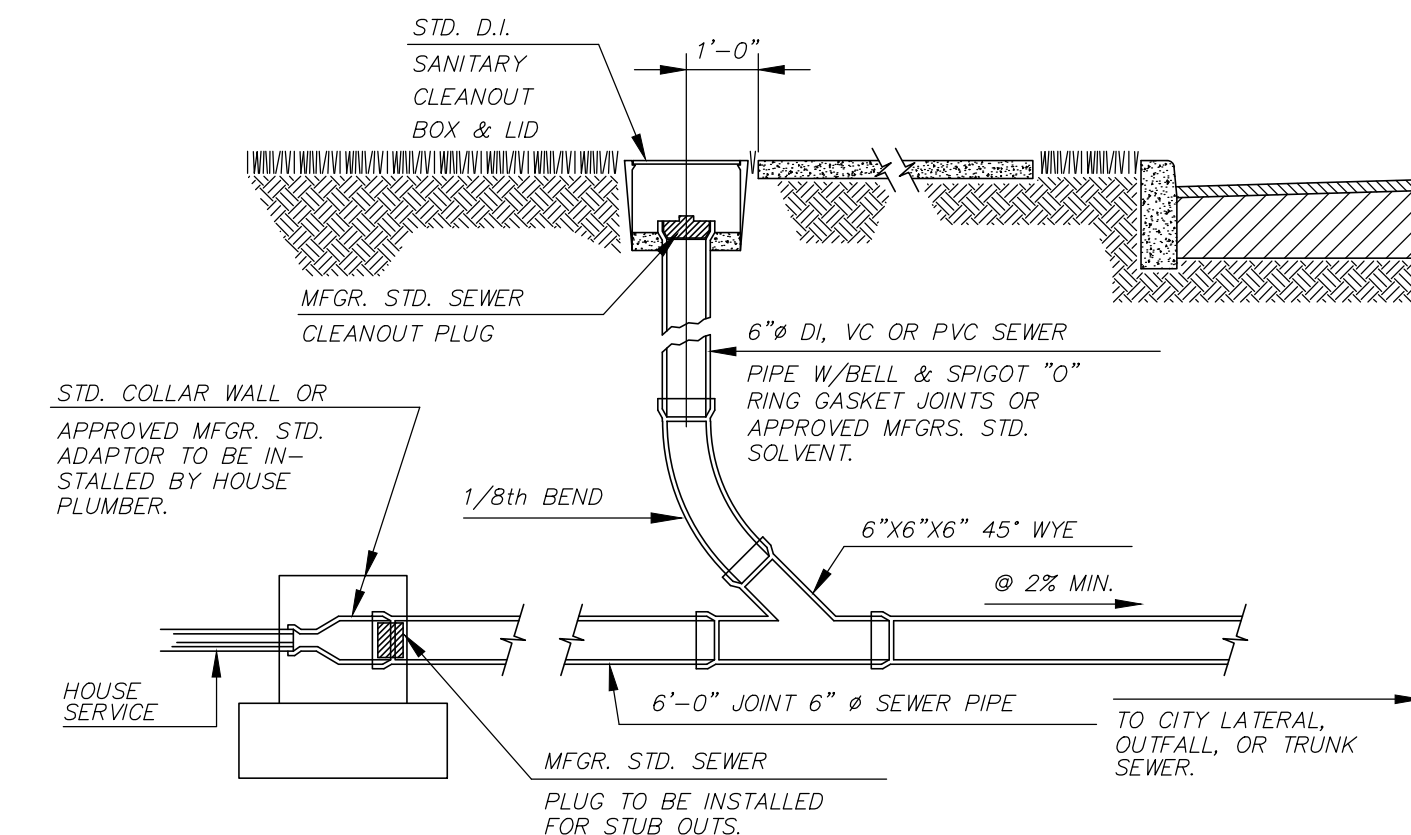
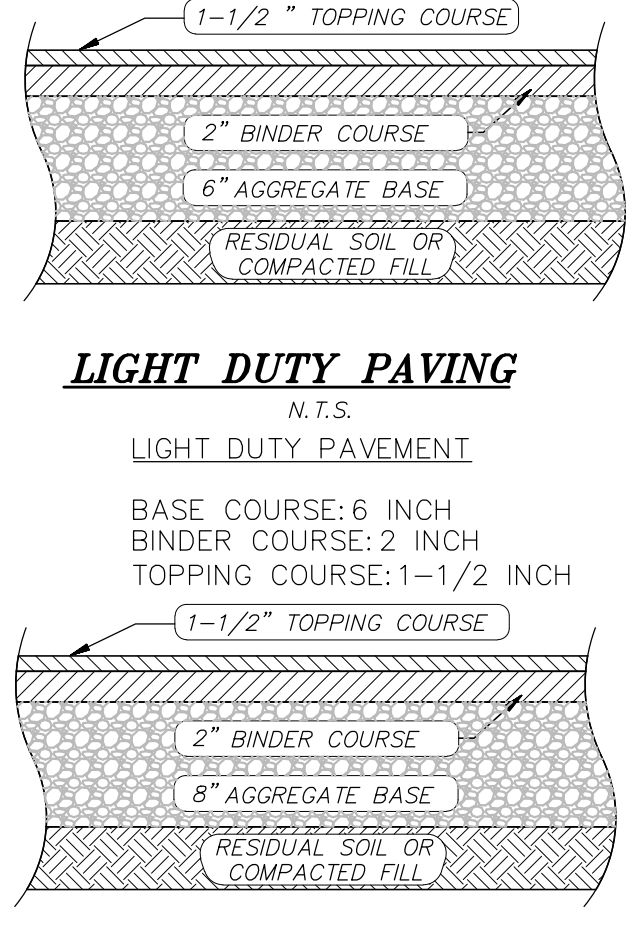
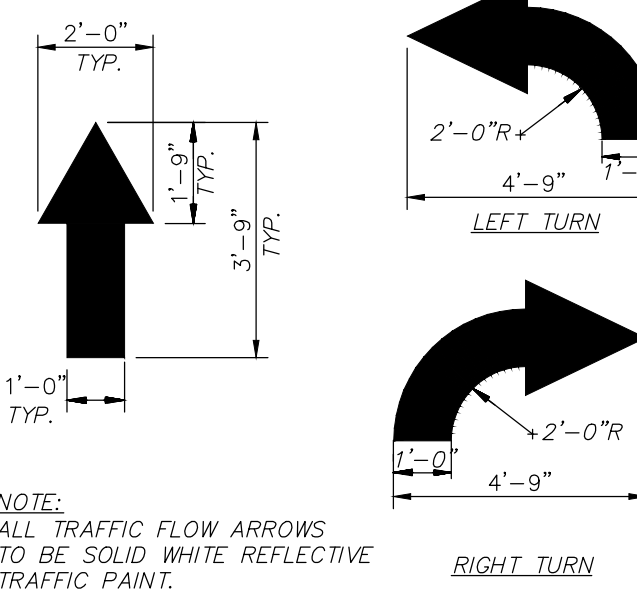
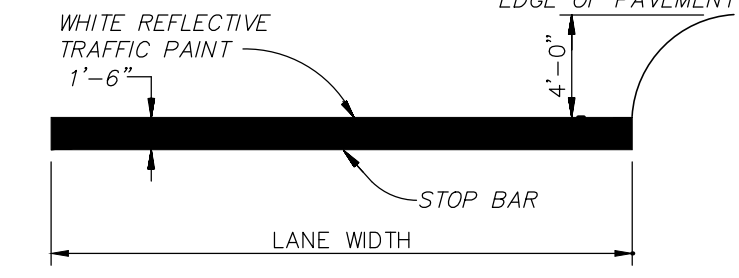
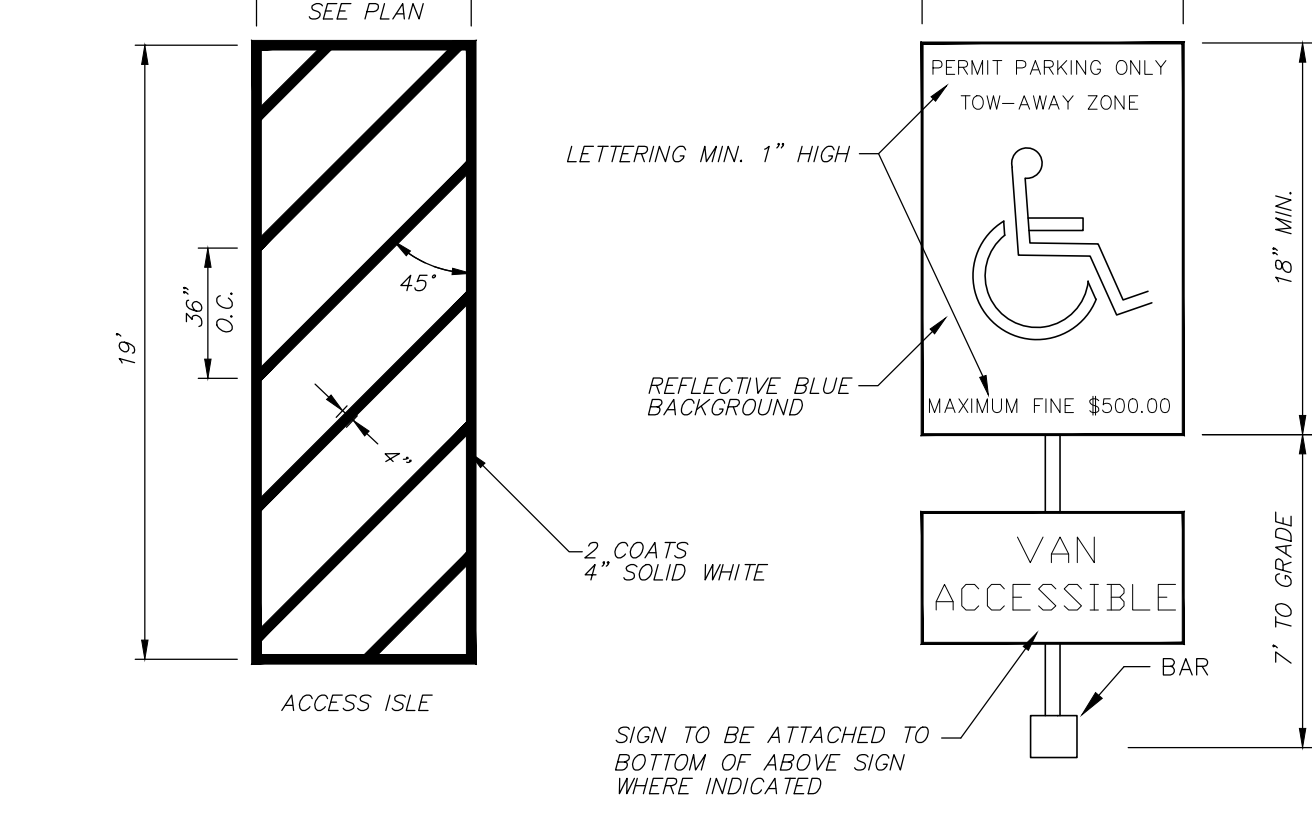
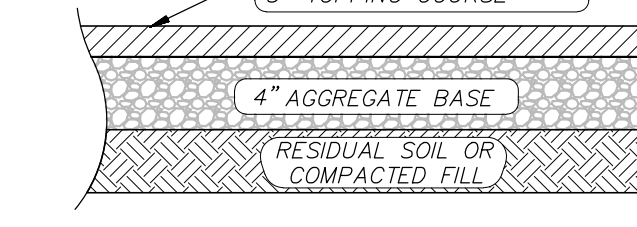
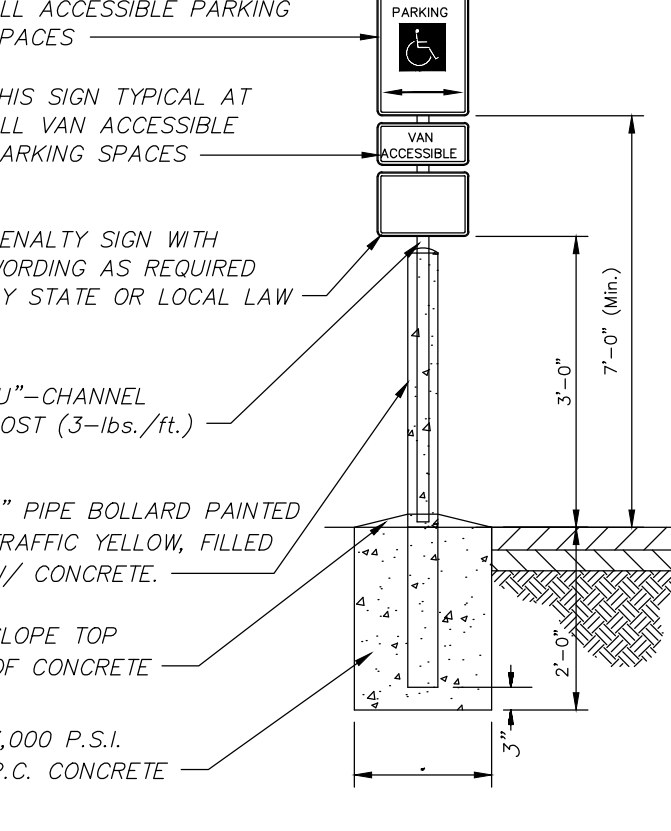
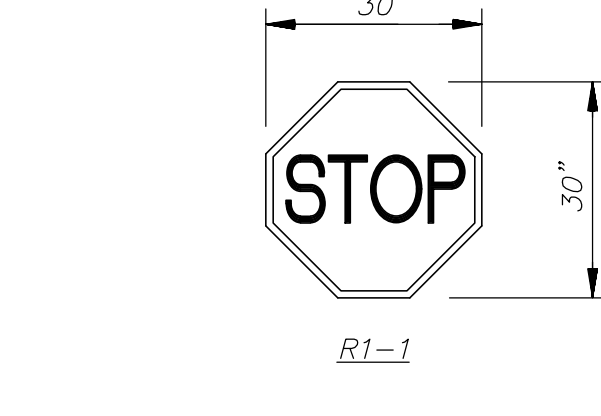
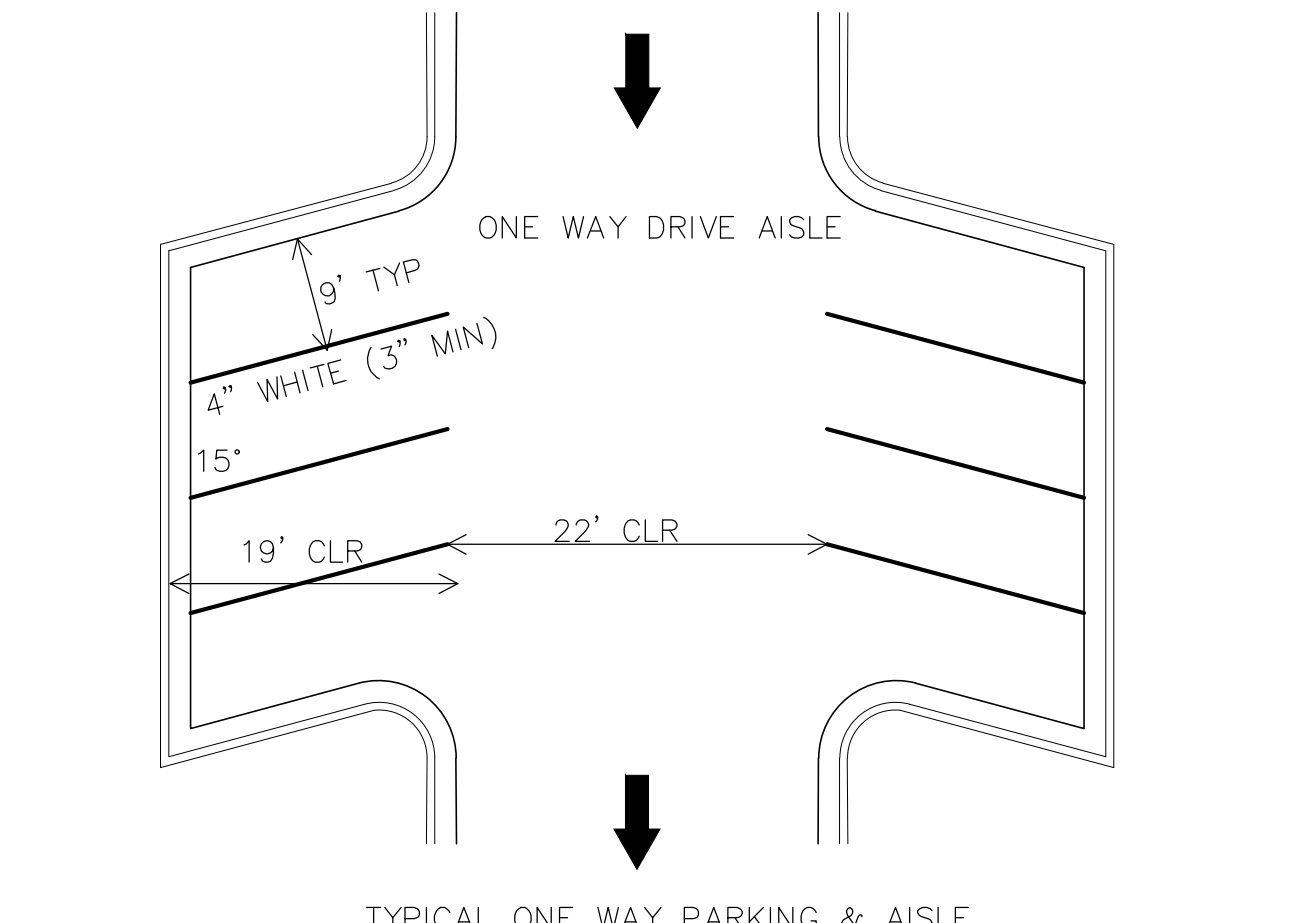
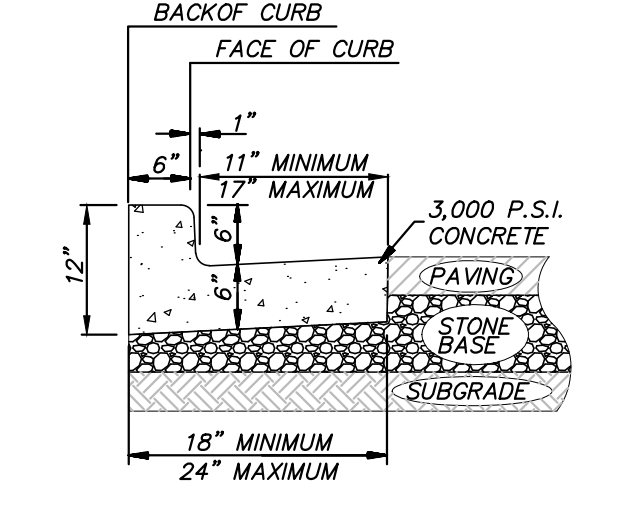
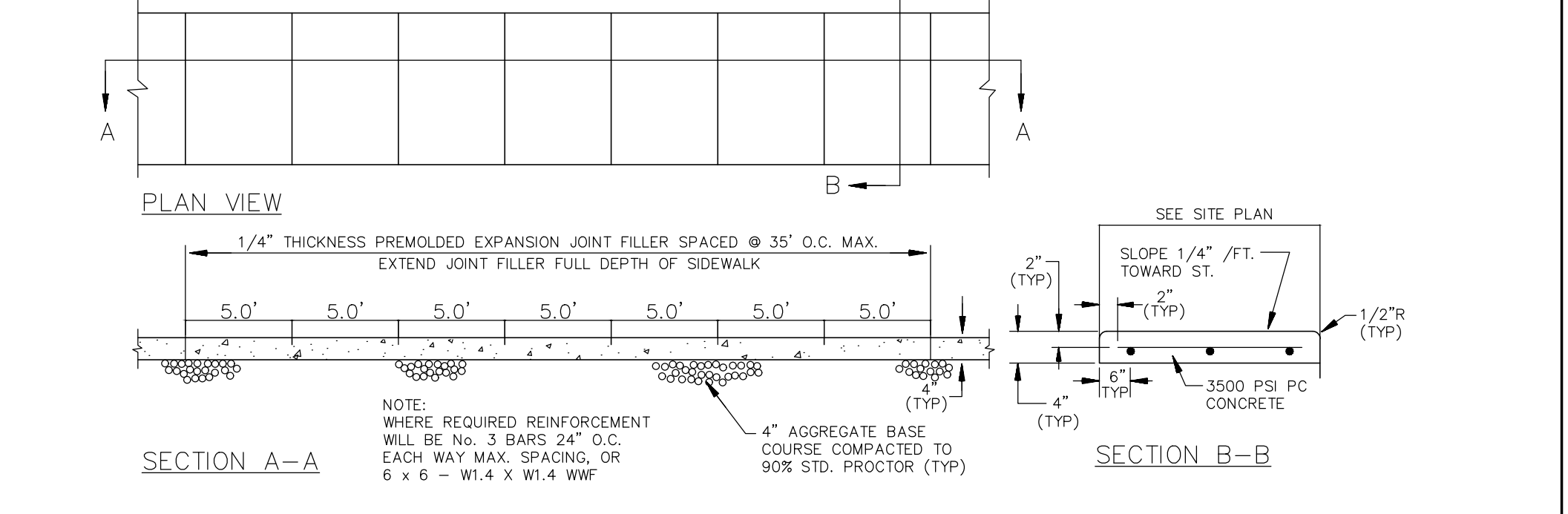
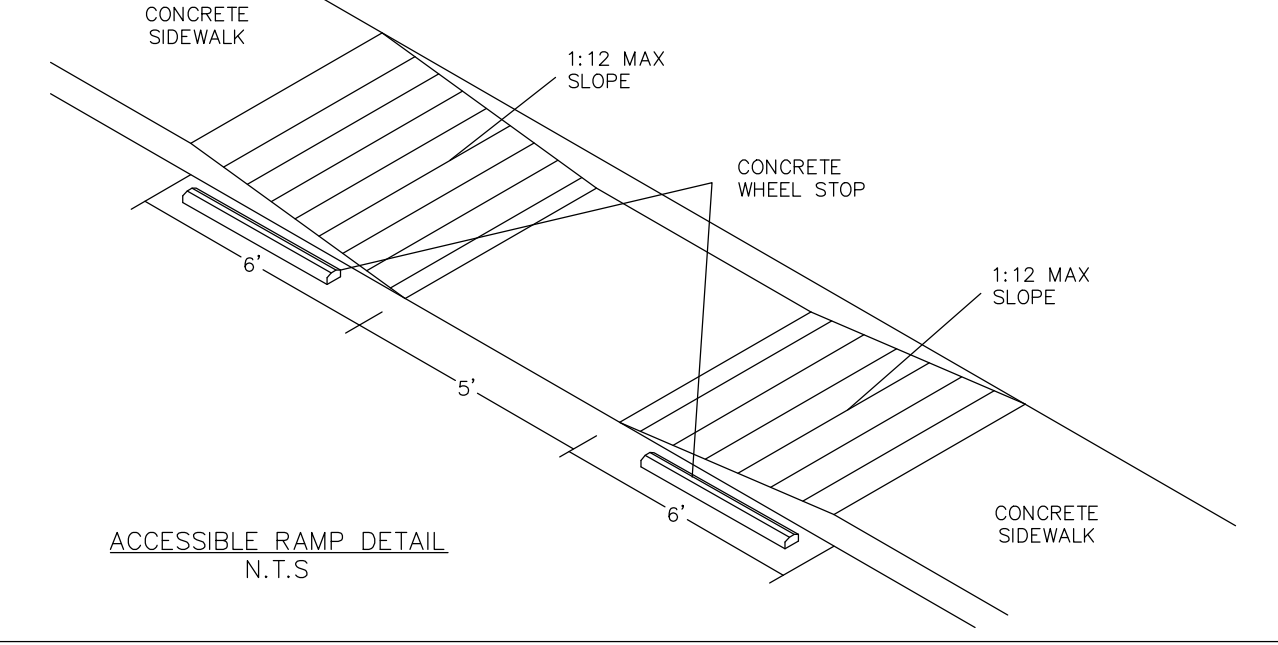
STRUCTURAL PRACTICES					STRUCTURAL PRACTICES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION	CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM			A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.	Sr	TEMPORARY STREAM CROSSING			A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment.
Ch	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch.	St	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.	Su	SURFACE ROUGHENING			A rough soil surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
Cr	CONSTRUCTION ROAD STABILIZATION			A travelway constructed as part of a construction plan including access roads, subdivision roads, parking areas and other on-site vehicle transportation routes.	Tc	TURBIDITY CURTAIN			A floating or staked barrier installed within the water (it may also be referred to as a floating boom, silt barrier, or silt curtain).
Dc	STREAM DIVERSION CHANNEL			A temporary channel constructed to convey flow around a construction site while a permanent structure is being constructed.	Tp	TOPSOILING			The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
Di	DIVERSION			An earth channel or dike located above, below, or across a slope to divert runoff. This may be a temporary or permanent structure.	Tr	TREE PROTECTION			To protect desirable trees from injury during construction activity.
Dn1	TEMPORARY DOWNDRAIN STRUCTURE			A flexible conduit of heavy-duty fabric or other material designed to safely conduct surface runoff down a slope. This is temporary and inexpensive.	Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL			Paved or vegetative water outlets for diversions, terraces, berms, dikes or similar structures.
Dn2	PERMANENT DOWNDRAIN STRUCTURE			A paved chute, pipe, sectional conduit or similar material designed to safely conduct surface runoff down a slope.					
Fr	FILTER RING			A temporary stone barrier constructed at storm drain inlets and pond outlets.					
Ga	GABION			Rock filter baskets which are hand-placed into position forming soil stabilizing structures.					
Gr	GRADE STABILIZATION STRUCTURE			Permanent structures installed to protect channels or waterways where otherwise the slope would be sufficient for the running water to form gullies.					
Lv	LEVEL SPREADER			A structure to convert concentrated flow of water into less erosive sheet flow. This should be constructed only on undisturbed soils.					
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainageways.					
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.					
Rt	RETRO FITTING			A device or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a temporary sediment filter.					
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.					
Sd2	INLET SEDIMENT TRAP			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.					
Sd3	TEMPORARY SEDIMENT BASIN			A basin created by excavation or a dam across a water way. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.					
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area so that sediment can settle out. The principle feature distinguishing a temporary sediment trap from a temporary sediment basin is the lack of a pipe or riser.					
Sk	FLOATING SURFACE SKIMMER			A buoyant device that releases/drains water from the surface of sediment ponds, traps, or basins at a controlled rate of flow.					
Spb	SEEP BERM			Linear control device constructed as a diversion perpendicular to the direction of runoff to enhance dissipation and infiltration, while creating multiple sedimentation chambers with the employment of intermediate dikes.					

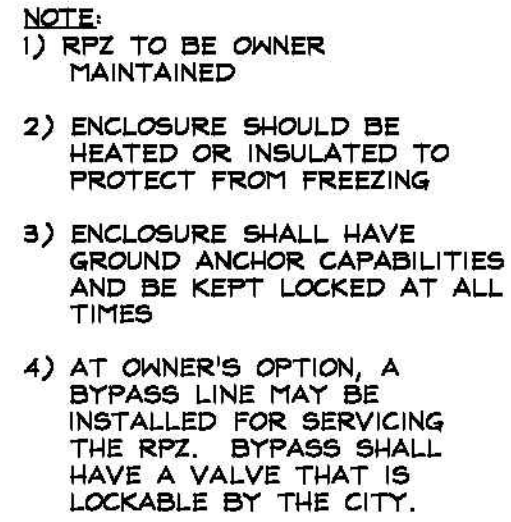
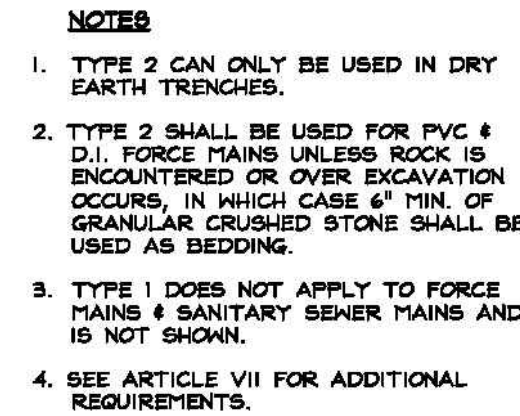
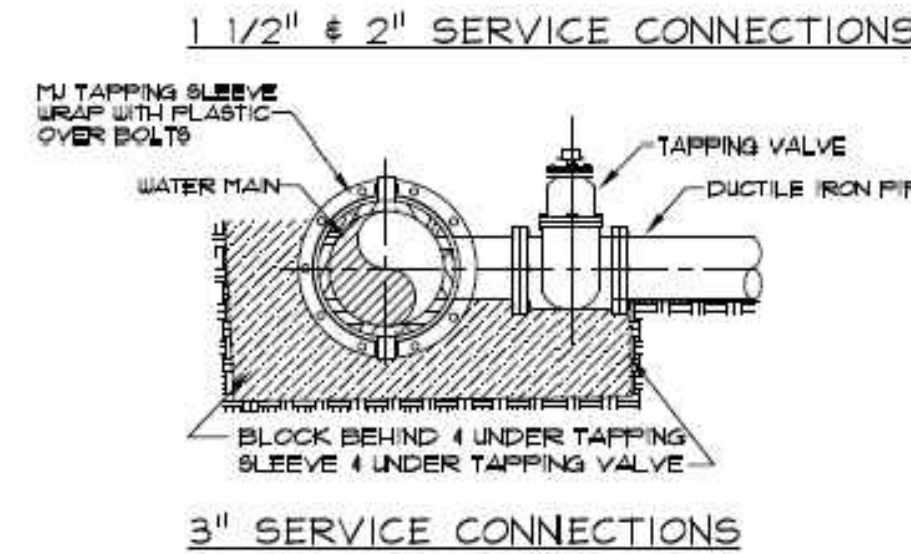
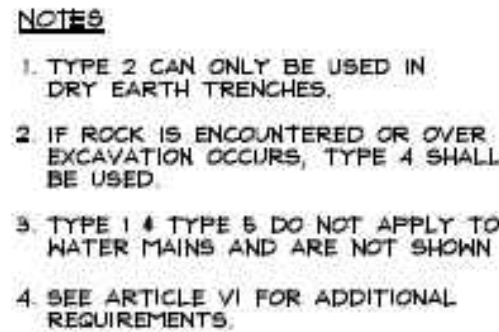
STRUCTURAL PRACTICES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sr	TEMPORARY STREAM CROSSING			A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment.
St	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE ROUGHENING			A rough soil surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
Tc	TURBIDITY CURTAIN			A floating or staked barrier installed within the water (it may also be referred to as a floating boom, silt barrier, or silt curtain).
Tp	TOPSOILING			The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
Tr	TREE PROTECTION			To protect desirable trees from injury during construction activity.
Wt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE CHANNEL			Paved or vegetative water outlets for diversions, terraces, berms, dikes or similar structures.

VEGETATIVE PRACTICES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)			Planting vegetation on dunes that are denuded, artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SOODING)			A permanent vegetative cover using sods on highly erodable or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.
Fl-Co	FLOCCULANTS AND COAGULANTS			Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (USING PERM VEGETATION)			The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION			A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TACKIFIERS AND BINDERS			Substance used to anchor straw or hay mulch by causing the organic material to bind together.

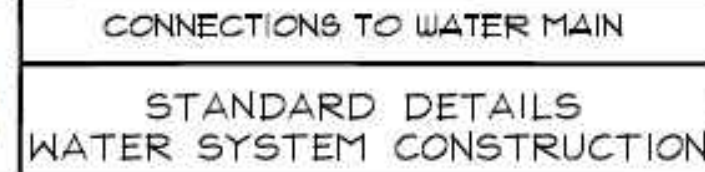
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<div><div>Civil Consulting Engineers, Inc.</div><div><div></div><div><div>122 CEDAR WOODS TRAIL CANTON, GA 30114 678-462-4072</div></div></div></div>	
ESC DETAILS	CII

TERRY BOOMER
No. 0000005401
LEVEL II CERTIFIED
EXPIRES FEBRUARY 10, 2018

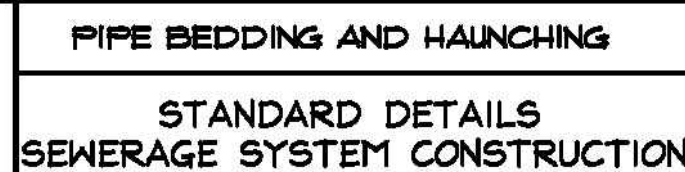
 <p>PRECAST CONCRETE WHEELSTOP N.T.S.</p>	 <p>GUARD POST N.T.S.</p>	 <p>TRANSFORMER PAD THREE PHASE, 1,000 KVA & BELOW (IF GROUND MOUNTED ONLY)</p> <p>NOTES: 1. Pad to be poured in place with concrete having no less than 3000 P.S.I. (6 bag mix). Ground under pad shall be level, at first grade and firm to avoid settling. No other loads to be used and minimum compaction of soil to be 90%. If specifying concrete meeting F.T.A.A. with long-strand fiberglass, use of wire mesh and rebar is optional. 2. Minimum Clearance Around Pad: 3. Transformer located in areas exposed to vehicular traffic shall be protected with suitable pipe or "T" beams on all exposed sides supplied & installed by the customer as per drawing C-12. 4. Customer to furnish all conduit and conductor beyond the point of delivery.</p>	 <p>STANDARD SANITARY CLEAN-OUT N.T.S.</p>	 <p>LIGHT DUTY PAVING N.T.S. LIGHT DUTY PAVEMENT BASE COURSE: 6 INCH BINDER COURSE: 2 INCH TOPPING COURSE: 1-1/2 INCH</p> <p>HEAVY DUTY PAVING N.T.S. HEAVY BASE COURSE: 8 INCH BINDER COURSE: 2 INCH TOPPING COURSE: 1-1/2 INCH</p>																		
 <p>PARKING LOT FLOW ARROW N.T.S.</p>	 <p>STOP BAR N.T.S.</p>	 <p>SIGNING & STRIPING DETAIL N.T.S.</p>	 <p>CONCRETE PAVEMENT N.T.S.</p>	<p>STANDARD DUTY BASE COURSE: 4 INCH TOPPING COURSE: 5 INCH</p> <p>THE CONCRETE PAVEMENT SHOULD BE REINFORCED WITH A LAYER OF 4 INCH BY 4 INCH WELDED WIRE FABRIC MESH PLACED NEAR THE UPPER ONE-THIRD (1/3) OF THE CONCRETE SECTION.</p> <p>THE CONCRETE SECTION SHOULD BE SUITABLY JOINTED TO PREVENT CRACKING IN UNWARRANTED AREAS. THE JOINTS SHOULD BE DESIGNED BY THE STRUCTURAL ENGINEER AND SHOULD BE PLACED AS SUCH.</p>																		
 <p>ACCESSIBLE PARKING SIGN N.T.S.</p>	 <p>"STOP" SIGN N.T.S.</p>	 <p>TYPICAL ONE WAY PARKING & AISLE</p>																				
 <p>STANDARD CONCRETE CURB & GUTTER N.T.S.</p>	 <p>CONCRETE SIDEWALK N.T.S.</p>	 <p>ACCESSIBLE RAMP DETAIL N.T.S.</p>		<table><tr><td colspan="2">REVISIONS:</td></tr><tr><td colspan="2">PROJECT: RETAIL CENTER</td></tr><tr><td colspan="2">PROJECT ADDRESS: 216 CARPENTERS COVE LN</td></tr><tr><td colspan="2">PROJECT ADDRESS: CITY OF CORNELIA, GA 30531</td></tr><tr><td colspan="2">CLIENT: JETS ASSOCIATES, LTD</td></tr><tr><td colspan="2">CLIENT ADDRESS: 641 LAKE DRIVE</td></tr><tr><td colspan="2">CLIENT ADDRESS: VERO BEACH, FL 32963</td></tr><tr><td>DATE: 1/26/18</td><td>DWG: PRJI</td></tr></table> <div><div>GEORGIA REGISTERED No. 27020 1/26/18 TERRY S. BOOMER ENGINEER</div><div><div>einc.</div><div>122 CEDAR WOODS TRAIL CANTON, GA 30114 678-462-4072</div></div><table><tr><td>CONSTRUCTION DETAILS</td><td>C12</td></tr></table></div>	REVISIONS:		PROJECT: RETAIL CENTER		PROJECT ADDRESS: 216 CARPENTERS COVE LN		PROJECT ADDRESS: CITY OF CORNELIA, GA 30531		CLIENT: JETS ASSOCIATES, LTD		CLIENT ADDRESS: 641 LAKE DRIVE		CLIENT ADDRESS: VERO BEACH, FL 32963		DATE: 1/26/18	DWG: PRJI	CONSTRUCTION DETAILS	C12
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DATE: APRIL 2014
SCALE: N.T.S.
STANDARD 600 - 3



DATE: APRIL 2014
SCALE: N.T.S.
STANDARD 600 - 6

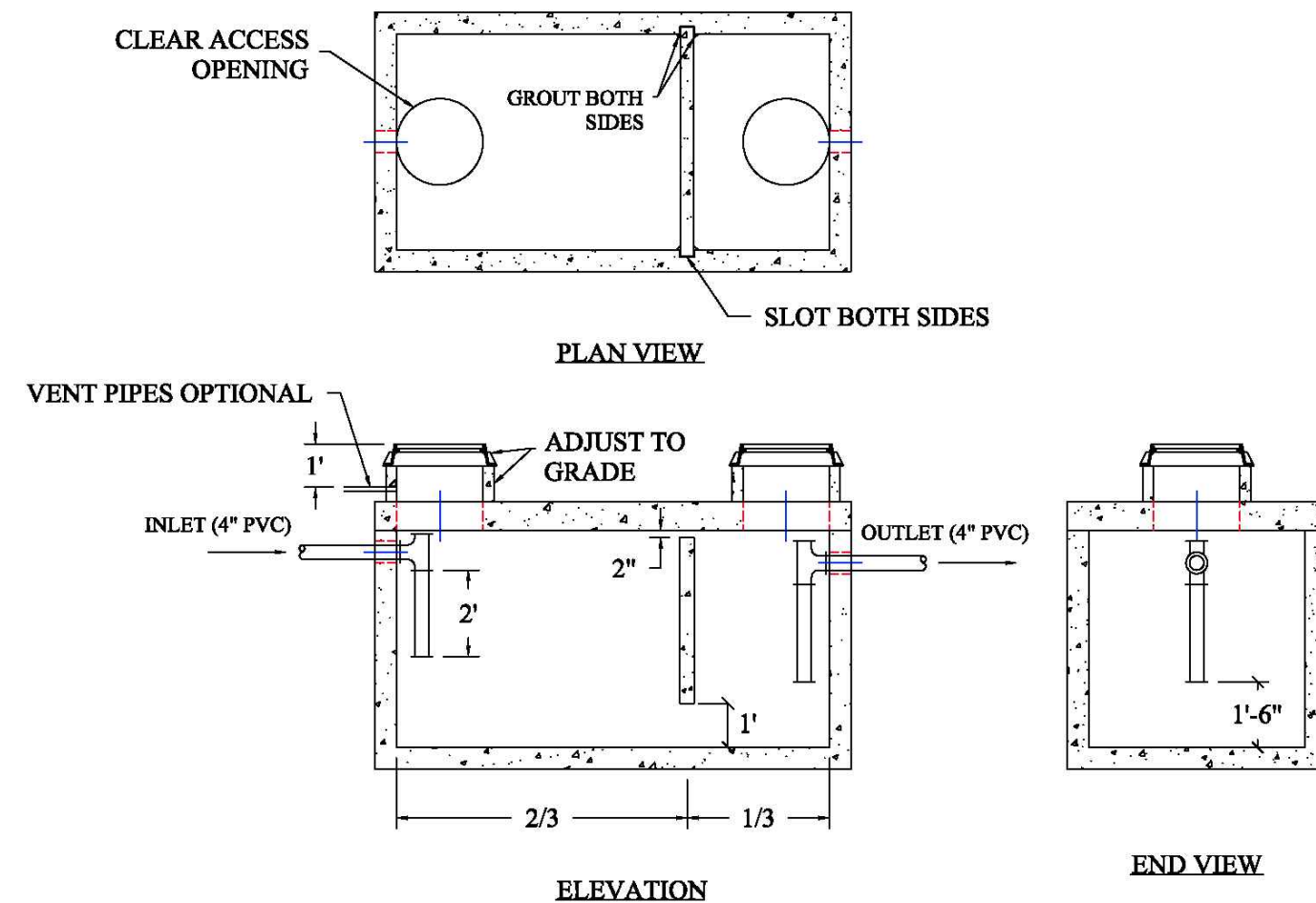


DATE: APRIL 2014
SCALE: N.T.S.
STANDARD 800-7



DATE: OCTOBER 2014
SCALE: N.T.S.

STANDARD 600 - 9

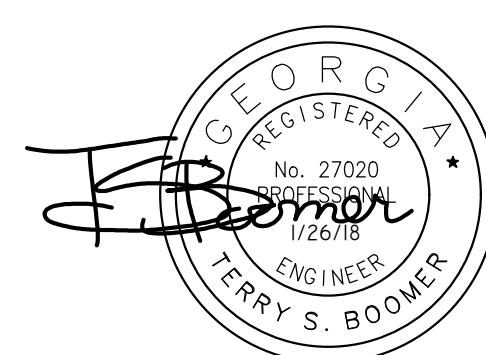


NOTE:

1. MUST MEET ASTM C 1613 STANDARD SPECIFICATIONS FOR PRECAST CONCRETE GREASEINTERCEPTOR TANKS
2. TANK LENGTH TO BE GREATER THAN WIDTH, MINIMUM LIQUID DEPTH OF 30" AND MAXIMUM OF 72"
3. MINIMUM GREASE INTERCEPTOR CAPACITY - 1500 GALLONS
4. WHEN A LARGE CAPACITY GREASE INTERCEPTOR IS REQUIRED, SHOW GREASE INTERCEPTORS IN A SERIES
5. GRADE ADJUSTMENTS GREATER THAN ONE FOOT REQUIRE FOUR FOOT DIAMETER MANHOLE RISERS
6. GRADE RISERS SHALL BE STACKABLE AND WATERTIGHT
7. 1557 OR APPROVED EQUAL TRAFFIC MANHOLE FRAME AND COVER

GREASE TRAP CALCS:

25 SEATS
15 GAL/SEAT
16 HOURS
LOAD FACTOR 1/12
GT SIZE=25x15x16x $\frac{1}{12}$ =500
USE GT SIZE=1,000 GAL



REVISIONS:

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DATE: 1/26/18

DWG: PRJI

Civil Consulting Engineers, Inc.



122 CEDAR WOODS TRAIL
CANTON, GA 30114
678-462-4072

CONSTRUCTION DETAILS

C13

GENERAL CONTRACT NOTES

SURVEY/BASE/TREE SURVEY: THIS DRAWING IS INTENDED TO CONVEY INFORMATION RELATIVE TO PLANTING ONLY. FOR ALL INFORMATION RELATIVE TO SURVEY, GRADING, HYDROLOGY, EROSION CONTROL, LIGHTING, ARCHITECTURAL ETC. REFER TO THE APPROPRIATE CONSULTANT'S DRAWINGS.

LIMITS OF WORK: THE LANDSCAPE CONTRACTOR SHALL VISIT THE SITE DURING CONSTRUCTION TO REVIEW THE ACTUAL LIMITS OF DISTURBANCE. THE LANDSCAPE WORK SHALL INCLUDE ALL DISTURBED AREAS ASSOCIATED WITH THIS INSTALLATION. ALL DISTURBED AREAS SHALL BE LEFT IN A FINISHED CONDITION EVEN IF THE AREAS ARE OUTSIDE OF THE PROPERTY LINE. THE AREAS SHALL BE FINISHED IN A SIMILAR FASHION TO AREAS IMMEDIATELY ADJACENT.

PERMITS: THE CONTRACTOR SHALL VERIFY THAT THIS DRAWING HAS BEEN REVIEWED, APPROVED AND A PART OF THE PERMIT SET. DO NOT DO ANY WORK ON UN-APPROVED/UN-PERMITTED DRAWINGS.

SUBSTITUTIONS: NO TREE SPECIES OR SIZE SUBSTITUTIONS WILL BE CONSIDERED UNLESS A SUBSTITUTION HAS BEEN SUBMITTED IN WRITING TO THE MUNICIPALITY AND APPROVED BY THE MUNICIPALITY. FAILURE TO COMPLY IN THIS REGARD MAY RESULT IN THE REPLACEMENT OF ALREADY INSTALLED PLANT MATERIAL AND IN A DELAY IN RECEIVING THE CERTIFICATE OF OCCUPANCY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COPY THE DESIGNER ON ANY CHANGES APPROVED BY THE MUNICIPALITY.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY ANY CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR ANY CONTRACTORS EMPLOYEES, OR FOR THE FAILURE OF ANY CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. NO DISCREPANCY IN CONSTRUCTION DRAWINGS OR SPECIFICATIONS SHALL CAUSE DEFECTIVE OR INAPPROPRIATE MATERIALS TO BE USED OR POOR WORKMANSHIP TO BE ALLOWED/ACCEPTED. THE DESIGNER SHALL NOT BE LIABLE FOR SAFETY ISSUES RELATIVE TO TREE PLANTINGS REQUIRED BY ANY MUNICIPALITY TO BE WITHIN THE ROW.

SITE SAFETY: IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE CONTRACTOR'S WORK SITE IS KEPT IN A SAFE CONDITION FOR WORKERS AND THE PUBLIC DURING THE COURSE OF THE CONSTRUCTION AND LEAVE THE SITE IN A SAFE CONDITION AT THE END OF EACH WORK DAY.

UTILITY LOCATION: IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED PRIOR TO ANY DIGGING. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITIES PROTECTION CENTER @ 811.

THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY IN WRITING, IF IT BECOMES APPARENT DURING THE INSTALLATION THAT OVERHEAD WIRES WITH THE GROWTH OF TREES/SHRUBS WILL INTERFERE OVER TIME. FAILURE TO NOTIFY PRIOR TO INSTALLATION MAY REQUIRE RELOCATION AT NO ADDITIONAL COST TO THE OWNER.

COORDINATION: THE CONTRACTOR SHALL COORDINATE AND SEQUENCE HIS WORK WITH THAT OF OTHER SUB-CONTRACTORS.

TREE MEASUREMENTS: SPECIFIC TO MUNICIPAL REQUIREMENTS ALL DECIDUOUS AND EVERGREEN TREES SHALL FIRST MEET THE CONDITIONS OF CALIPER AND THEN HEIGHT. CALIPER MEASUREMENTS ARE TAKEN 6" ABOVE THE GROUND FOR TREES 4" CAL. OR LESS AND 12" ABOVE THE GROUND FOR TREES OVER 4" CALIPER. SHRUBS SHALL MEET THE REQUIREMENTS FOR HEIGHT AND CONTAINER/B&B SIZE.

SIGHT DISTANCES: ALL TREES 3" CAL. OR LARGER SHALL HAVE A CLEARANCE TO THE LOWEST LIMB/BRANCH OVERHANG OF 6.5' HT. ALL SHRUBS AT ANY INTERSECTION OR AT THE TIPS OF PARKING LOT ISLANDS SHALL BE INSTALLED AND MAINTAINED AT OR BELOW 2'-0" IN ORDER TO MAINTAIN SAFE SITE DISTANCES FOR DRIVERS. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF THE PLANT MATERIAL AFTER INSTALLATION, AS DESCRIBED ABOVE. THE CONTRACTOR SHALL INFORM THE OWNER OF THIS OBLIGATION AND SUBMIT TO THE OWNER A COST FOR ONGOING MAINTENANCE OF THE INSTALLATION FOR THE GUARANTEE PERIOD.

CLEANING: THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN AND REMOVE/DISPOSE, IN A LEGAL MANNER, FROM THE SITE ALL DEBRIS THAT IS A PART OF THE CONTRACTOR'S OPERATION.

OTHER MATERIALS: THE CONTRACTOR SHALL SUPPLY, AS A PART OF THIS CONTRACT, ALL MATERIALS NECESSARY FOR THE COMPLETE INSTALLATION OF THE LANDSCAPE AS SHOWN ON THE DRAWINGS. THE OWNER SHALL SUPPLY THE WATER NECESSARY FOR THE LANDSCAPE INSTALLATION. THE CONTRACTOR SHALL IMMEDIATELY BRING TO THE ATTENTION OF THE OWNER, IN WRITING AND BEFORE INSTALLATION, ANY CONDITIONS WHICH MAY ADVERSELY EFFECT THE PLANTING OR THE PROPER GROWTH OF VEGETATION.

PLANT DETAILS: ALL PLANT MATERIAL WILL BE INSTALLED AS PER THE DETAILS SHOWN ON THE DRAWING. THE CONTRACTOR SHALL DEMONSTRATE THAT TREE ANCHORS HAVE BEEN INSTALLED AS DETAILED. ABOVE GROUND GUYING IS ALLOWED IN BIG-RENTION.

PLANT QUALITY/CRITERIA: ALL TREES SHALL BE OF GOOD QUALITY, FREE OF DISEASE, STRAIGHT TRUNKED, FULL HEADED, SYMMETRICAL AND WELL ROOTED. ALL TREES/SHRUBS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED WITH SIZES AS INDICATED ON THE PLANT LIST OR ON THE DRAWINGS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASES. ROOTBALLS, CONTAINERS & HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN AMERICAN STANDARDS FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. THE CONTRACTOR SHALL ARRANGE AND COORDINATE PLANT APPROVAL PRIOR TO INSTALLATION. THE OWNER/OWNER'S REPRESENTATIVE MAY AT ANY POINT BEFORE, DURING OR AFTER THE INSTALLATION BUT PRIOR TO FINAL ACCEPTANCE REJECT PLANT MATERIAL OR INSTALLATION WHICH DOES NOT COMPLY WITH THE SPECIFICATIONS OF THIS DRAWING. ALL PLANT MATERIAL SHALL BE NUMBER ONE OR BETTER.

PLANTING CONDITIONS: IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE GENERAL CONTRACTOR AND ACCEPT PLANTING/GRADED/SITE CONDITIONS. PLANT MATERIAL SHALL NOT BE INSTALLED IN AREAS WHICH HAVE NOT BEEN BROUGHT TO FINISHED GRADE OR IN AREAS WHERE BUILDING MATERIALS HAVE BEEN BURIED OR NOT PROPERLY REMOVED FROM THE SITE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO "FINE GRADE" THE SITE. THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY SITE CONDITIONS WHICH WILL ADVERSELY EFFECT THE GROWTH OF THE PLAN MATERIAL.

PRE-EMERGENT & WEED CONTROL FABRIC: ALL AREAS TO RECEIVE TREE, SHRUB OR GROUND COVER TO BE PRE TREATED WITH PRE-EMERGENT THEN A LAYER OF LANDSCAPE WEED CONTROL FABRIC AND FINALLY TOPPED WITH PINE STRAW MULCH. SEE PLANT GUARANTEE AND WARRANTY.

MULCH: PLANTED AREAS SHALL BE MULCHED WITH 4" FRESH MULCH CURRENT CROP 'SETTLED', TREES IN SOD SHALL BE MULCHED WITH A 6" DIAMETER CIRCLE OF MULCH TO A DEPTH OF 4" SETTLED.

TOPSOIL: 2" OF NEW OR STOCKPILED TOPSOIL SHALL BE ADDED TO ALL AREAS TO BE SEEDD OR PLANTED WITH ANNUALS/GROUND COVER. TOPSOIL SHALL BE ADDED TO TREE AND SHRUB PLANTINGS IN A RATIO OF 1/3 TOPSOIL TO 2/3 SITE SOIL. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL.

RIVER STONE MULCH: THE CONTRACTOR SHALL INSTALL WASHED RIVER STONE MULCH IN ALL SHRUB/TREE PLANTINGS AREAS BETWEEN THE FACE OF THE BUILDING AND THE EDGE OF THE PARKING ADJACENT THE BUILDING. SUBMIT A SAMPLE OF 5"-1" WASHED RIVER STONE FOR APPROVAL PRIOR TO DELIVERY ON SITE. THE STONE SHALL BE PLACED TO A DEPTH OF 2" WITH COMPLETE COVERAGE OF LANDSCAPE WEED CONTROL FABRIC BASE, NO WEED CONTROL FABRIC SHALL BE VISIBLE AFTER INSTALLATION. THE AREA TO RECEIVE THE WASHED RIVER ROCK SHALL BE PRE-TREATED WITH WEED PRE-EMERGENT (IF SEASONALLY APPLICABLE).

LANDSCAPE STEEL EDGING PROVIDE AND INSTALL LANDSCAPE STEEL EDGING WHERE SHOWN ON THE PLAN AND AS DETAILED

MAINTENANCE DURING CONSTRUCTION: IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE LANDSCAPE INSTALLATION INCLUDING WATERING, MOWING, PRUNING, WEEDING, MAINTAINING BED EDGES, PEST CONTROL AND SLOPE STABILIZATION UNTIL 'FINAL ACCEPTANCE' BY THE OWNER/OWNER'S REPRESENTATIVE.

SEEDING: ALL ASPECTS OF SEEDING INCLUDING SPECIES SELECTION AT A MINIMUM SHALL BE AS PER THE MARYLAND DEPARTMENT OF TRANSPORTATION SPECIFICATION. THE CONTRACTOR SHALL MAINTAIN ALL SEEDD AREAS INCLUDING SLOPES UNTIL A FULL STAND OF GRASS HAS BEEN APPROVED. THE CONTRACTOR SHALL REPAIR ANY EROSION AND RE-SEED UNTIL A FULL STAND OF GRASS IS ACHIEVED. A SATISFACTORY STAND OF SEED SHALL BE DEFINED AS A MINIMUM OF 20 GRASS PLANTS OF THE SPECIES SPECIFIED PER SQUARE FOOT WITH NO BALD SPOTS LARGER THAN 6" SQUARE; THE BALD SPOTS SHALL NOT EXCEED TWO (2) PERCENT OF THE TOTAL SEEDD AREA.

HYDROSEEDING: SUBMIT A HYDROSEEDING MIX TO THE LAND. ARCH. IN WRITING 7 DAYS PRIOR TO INSTALLATION FOR APPROVAL.

SODDING: IF REQUIRED BY THE REVIEWING AGENCY THE DISTURBED AREAS OF THE SITE SHALL BE SODDED. THE SPECIES OF SOD SHALL BE SUITABLE FOR THE GEOGRAPHIC LOCALITY. SOD SHALL ONLY BE INSTALLED DURING THE APPROPRIATE SEASON. SOD SHALL BE STRONGLY ROOTED, WEED, DISEASE AND PEST FREE AND UNIFORM IN THICKNESS. IT SHALL BE INSTALLED WITHIN 24 HOURS OF DELIVERY. IT SHALL BE INSTALLED IN AREAS FINE GRADED TO DRAIN PROPERLY. ANY SOD WHICH CREATES PONDING SHALL BE REMOVED, THE AREA RE-GRADED AND THE SOD RESET.

PLANT GUARANTEE AND WARRANTY: ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL WHICH DIES OR IS IN A DETERIORATING CONDITION DURING THE GUARANTEE PERIOD AND HAS BEEN PROPERLY MAINTAINED, (WHICH INCLUDES PROPER WATERING). UNHEALTHY TREES WILL BE DEFINED AS A MAIN LEADER DIED BACK OR 25% OF THE CROWN IS DEAD. UNHEALTHY SHRUBS AND GROUND COVER WILL BE DEFINED AS A MINIMUM OF NOT COMPLYING WITH SPECIFICATIONS IN THE 'AMERICAN STANDARD FOR NURSERY STOCK'. ALL PLANTING AREAS TO BE GUARANTEED 'WEED FREE' FOR A PERIOD OF ONE YEAR. THE LANDSCAPE CONTRACTOR SHALL TREAT ANY EMERGING WEED FOR A ONE YEAR PERIOD AS A PART OF THIS CONTRACT.

IRRIGATION: THE CONTRACTOR SHALL SUBMIT A PRICE TO DESIGN AND INSTALL A FULLY AUTOMATIC IRRIGATION SYSTEM FOR THIS LANDSCAPE INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL SPECIFY THE TYPE OF CONTROL SYSTEM, THE INCLUSION OF AS-BUILT DRAWINGS, THE TYPES & SIZES OF PIPES AND FITTINGS, BACK FLOW PREVENTION, SLEEVES AND LOCATIONS, CONTROL WIRE, IRRIGATION VALVES, VALVE BOXES AND THRUST BLOCKS. THE LANDSCAPE CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES. THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFICATE OF WARRANTY, REGISTRATION AND WRITTEN GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

IRRIGATION METER: THE LANDSCAPE CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR WHETHER AN IRRIGATION METER WAS INSTALLED FOR THE AUTOMATIC IRRIGATION SYSTEM. THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL CODES AND ORDINANCES WITH REGARDS TO ANY CONNECTION TO AN IRRIGATION METER.

MAINTENANCE AFTER FINAL ACCEPTANCE: THE LANDSCAPE CONTRACTOR SHALL INCLUDE, IN THE BID, A PRICE TO MAINTAIN THE PLANTINGS (INCLUDING WATER IF APPLICABLE), FOR A PERIOD OF ONE FULL YEAR.

LANDSCAPE COMPLIANCE

PARKING: NO BAY OF PARKING SHALL EXCEED 10 SPACES (complies)

A LANDSCAPE ISLAND SHALL TERMINATE EACH BAY OF 10 (MAX.) PARKING SPACES AND SHALL BE PLANTED WITH ONE TWO INCH (MIN.) TREE (complies)

LANDSCAPE STRIP COMPLIANCE: A 5' PERIMETER LANDSCAPE STRIP SHALL BE PROVIDED AND PLANTED WITH ONE (2") CAL. TREE PER 35' AND 3 SHRUBS PER 35' (not including drive openings)

NORTH LANDSCAPE STRIP: 128' / 35' = 4 TREES & 12 SHRUBS (left of drive) (rt. of drive to be submitted as Phase II at time of development)

EAST LANDSCAPE STRIP: 114' / 35' = 3 TREES & 10 SHRUBS 340' / 35' = 10 TREES & 30 SHRUBS (@access pk.) (STRIP @ HWY.365 to be submitted as Phase II at time of development)

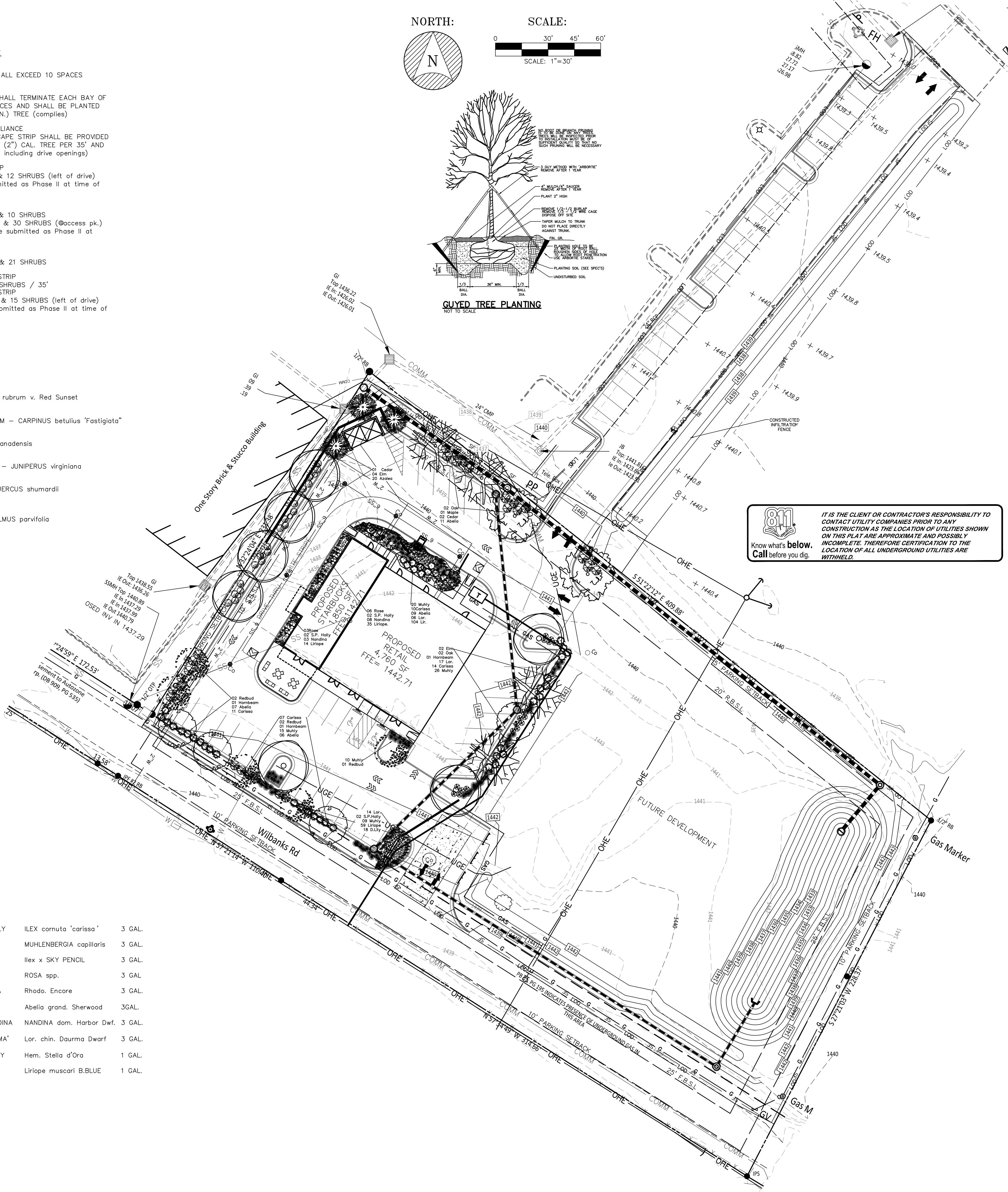
WEST LANDSCAPE STRIP: 231' / 35' = 7 TREES & 21 SHRUBS

FRONTAGE LANDSCAPE STRIP: 1 SHADE TREE AND 10 SHRUBS / 35' FRONTAGE LANDSCAPE STRIP 161' / 35/ = 5 TREES & 15 SHRUBS (left of drive) (right of drive to be submitted as Phase II at time of development)

TREE LIST

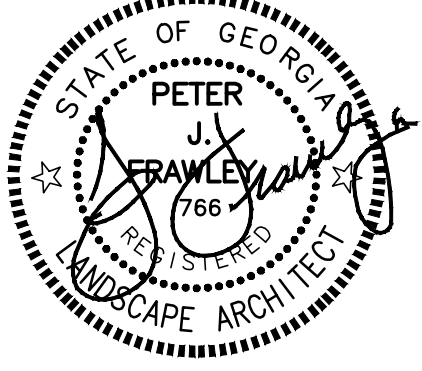
- 02 RED MAPLE - ACER rubrum v. Red Sunset 2.0" CAL.
- 04 EUROPEAN HORNBEAM - CARPINUS betulus 'Fastigiata' 2.0" CAL.
- 05 REDBUD - CERCIS canadensis 2.0" CAL.
- 03 EASTERN REDCEDAR - JUNIPERUS virginiana 2.00" CAL.
- 04 SHUMARD OAK - QUERCUS shumardii 2.0" CAL.
- 07 LACEBARK ELM - ULMUS parvifolia 2.0" CAL.

SHRUBS				
42	DWARF CARISSA HOLLY	ILEX cornuta 'carissa'	3	GAL.
80	MUHLY GRASS	MUHLBERGIA capilaris	3	GAL.
06	SKY PENCIL HOLLY	Ilex x SKY PENCIL	3	GAL.
09	KNOCKOUT ROSE	ROSA spp.	3	GAL.
28	ENCORE PINK AZALEA	Rhodo. Encore	3	GAL.
30	'SHERWOOD' ABELIA	Abelia grand. Sherwood	3GAL.	
11	HARBOR DWARF NANDINA	NANDINA dom. Harbor Dwf.	3	GAL.
37	LOROPETALUM 'DAURIMA'	Lor. chin. Daurima Dwarf	3	GAL.
18	STELLA D'ORA DAYLILY	Hem. Stella d'Ora	1	GAL.
212	BIG BLUE LIRIOPE	Liriope muscari B.BLUE	1	GAL.



REVISIONS:

DATE	#
- -	



FRAWLEY ASSOCIATES, LLC.
LANDSCAPE ARCHITECTS
675 SEMINOLE AVE (SUITE 101)
ATLANTA, GA 30307 (404) 874-5091

STARBUCKS RETAIL
WILBANKS ROAD
CORNELIA, GEORGIA

LANDSCAPE PLAN

SCALE: AS SHOWN

DATE: 01/29/18
























PROJECT: FA-18005

SHEET

L-1

SHEET 1 OF 1

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ABBREVIATION LEGEND:	SYMBOL LEGEND:
BC = back of curb	 = existing concrete
C&G = curb and gutter	 = existing asphalt
CB = catch basin	 = existing gravel/riprap
CD = check dam	 = fire hydrant
CL = centerline	 = guy wire
CMF = concrete monument found	 = light pole
CMP = corrugated metal pipe	 = power pole
CO = clean out	 = sanitary sewer manhole
CT = crimp top pin	 = clean out
DI = drop inlet	 = transformer
DIP = ductile iron pipe	 = water meter
DWCB = dbl. wing catch basin	 = single wing catch basin
EP = edge of pavement	 = grate inlet
FC = face of curb	 = junction box
FES = flared end section	 = head wall
FH = fire hydrant	 = buffer
GI = grate inlet	 = bldg setback
GW = guy wire	 = fence
GP = guy pole	 = overhead electric
HW = head wall	 = underground electric
IPF = iron pin set	 = water line
IPS = iron pin foot	 = sanitary line
JNB = junction box	 = gas line
INV = invert	
L.L.L. = land lot line	
LP = light pole	
MF = manhole (sanitary sewer)	
OCS = outlet control structure	
OT = open top pipe	
PL = property line	
PP = power pole	
RB = reinforcing bar	
RCP = reinforced concrete pipe	
R/W = right-of-way	
TSP = traffic signal pole	
TSB = traffic signal box	
TP = telephone pole	
TSP = traffic signal pole	
WM = water meter	
WV = water valve	
YI = yard inlet	

Reserved for Clerk of Superior Court

Utility Contacts:

Utility Providers - Contact Info

Note: This list is limited to utility companies that have buried facilities in the vicinity of survey area (Provided by UtiliSurvey)

Gas	Water
Southern Company Gas	City of Demorest Public Works
(formerly Atlanta Gas Light)	P.O. Box 128
10 Peachtree Street NE	Demorest, GA 30535
Atlanta, GA 30309	(706) 754-6023
Hayden Hinton	Bryan Popham
(404) 584-4338	(706) 939-6044
x2hinto@southernco.com	dem50@windstream.net

<u>Power</u>	<u>Communication</u>
Georgia Power Co.	Windstream Communication
823 Jefferson Street	750 N. Jefferson Street NE
Atlanta, GA 30318	Milledgeville, GA 31061
(404) 506-4569	(868) 599-3166
Ike Collins	

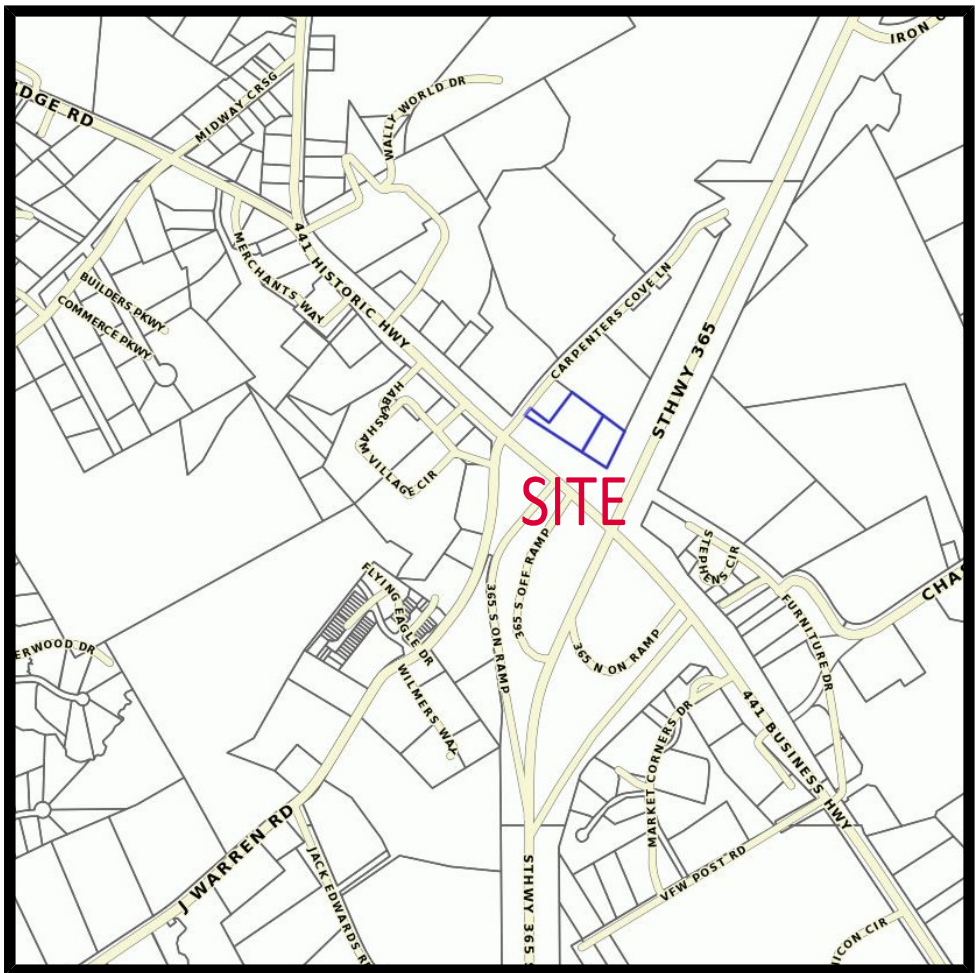
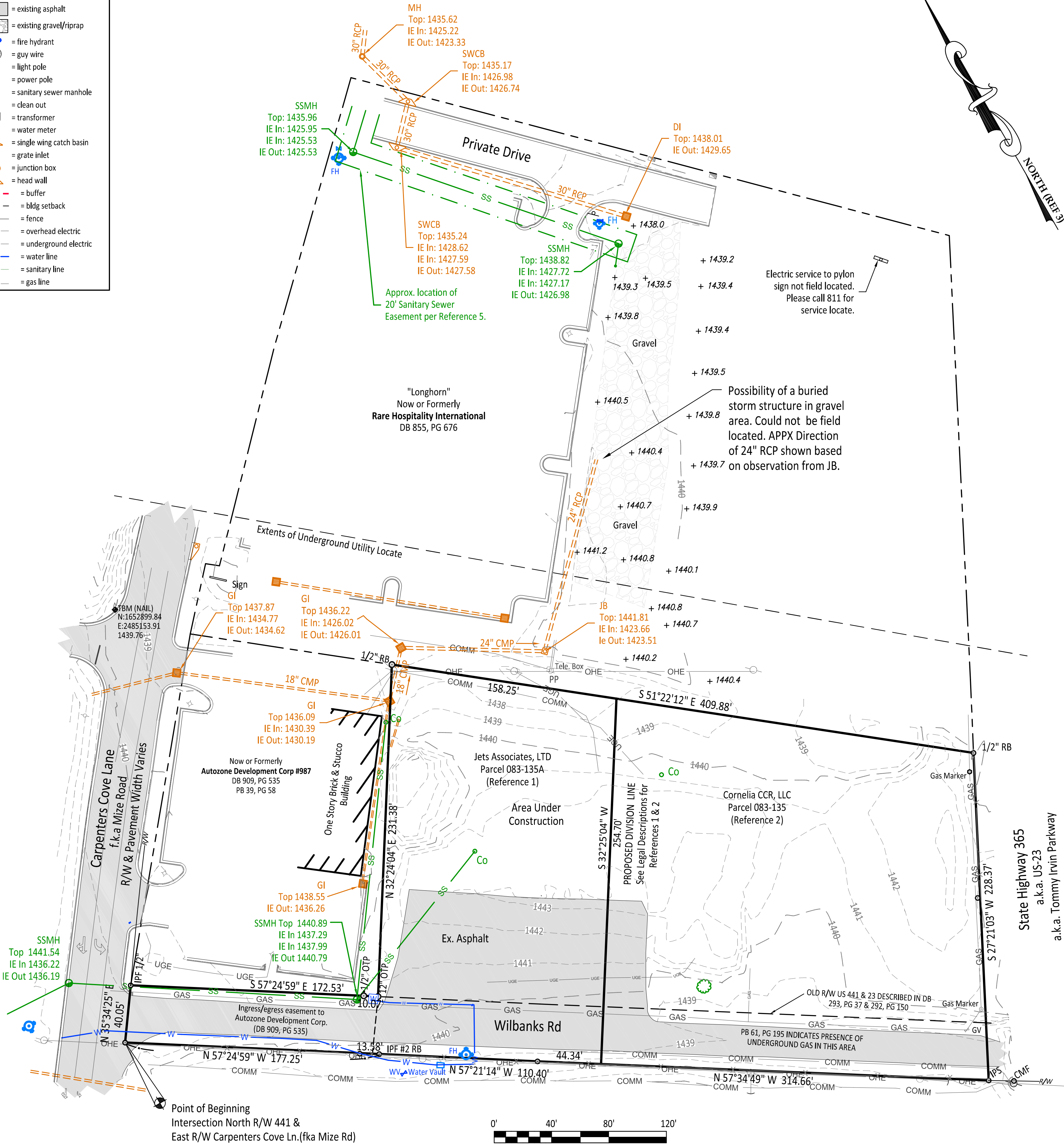
Habersham EMC	Hwy 115 West
6135 Hwy 115 West	Clarkesville, GA 30523
Clarkesville, GA 30523	(706) 754-2114
(706) 754-2114	Sherry Humphries
Sherry Humphries	(706) 839-4127
(706) 839-4127	

GENERAL NOTES:

1. Only evidence of easements or structures which are readily apparent from an above ground field inspection of the premises are shown, unless stated otherwise hereon. No liability is assumed by this firm for losses relating to the existence of any easement not discovered by above ground field inspection of the premises.
2. This plat was prepared for the exclusive use of the person, persons, or entity named hereon. Said certification does not extend to any unnamed persons without a recertification by the surveyor.
3. Jurisdictional areas or negative easements, if any, which might impact the use of the property were not located, unless stated otherwise. No liability is assumed by this firm for any losses resulting from the exercise of any government jurisdiction affecting the use of the property.
4. The property shown and described hereon is subject to any existing easements, rights-of-way, restrictive covenants, zoning regulations, underground utilities and/or setback lines whether or not they may be shown. No liability is assumed by this firm for any losses that may be associated with the existence of any easements or restrictions on the use of the property.
5. Location map from Habersham County qPublic.
6. All buildings ties are perpendicular to the property lines unless otherwise noted.
7. Surface Observable utilities and underground utilities marked by Utilisurvey on 9/21/17.

FLOOD HAZARD NOTE:

No portion of this property is contained within the limits of a Special Flood Hazard Zone as defined by the Federal Emergency Management Agency Flood Insurance Rate Map No. 13137C0216C of Habersham County, GA. (Community Panel No.1303290216C), most recently revised June 2, 2009.



LOCATION MAP
NOT TO SCALE

REFERENCES:

1. Deed Book 1101, Page 21 & Deed Book 1101, Page 18 - Jets Associates, LLC
2. Deed Book 1101, Page 25 & Deed Book 1101, Page 15- Cornelia CCR, Ltd
3. ALTA/ASCM survey for Jets Associates, a GA Limited Partnership, Cornelia CCR, LLC, a GA Limited Liability Company and Chicago Title Insurance Company prepared by Engineering 303, dated 12/15/2015.
4. Boundary Improvement, and Topographic Survey for: 216 Carpenters Cove Lane, prepared by Engineering 303, dated 08/28/2015.
5. Final Subdivision Plat for Lowe's Home Centers, Inc. prepared by Wolverton Associates dated 06/19/2008.

SURVEY NOTES:

1. Certain interior improvements may not be shown hereon, i.e. fence lines, guy wires, etc.
2. Matters of record not shown hereon are excepted.
3. Bearings based on Reference 3. Record line held as indicated.
4. Measurements shown are US Survey Feet (ground).
5. Field angles and linear distances measured using a Topcon PS-103A Robotic Total Station.
6. The field data upon which this plat is based has a field closure of one foot in 54,911 feet and an angular error of 01 seconds per angle point and was adjusted using Compass Rule. Fieldwork Completed on 10/31/17.
7. Property corners marked IPS (Iron Pin Set) are 1/2" x 18" rebar with blue plastic cap (E303 LSF #1121) unless otherwise indicated. Unless indicated as set, monumentation shown was found.
8. No evidence of human burials or cemeteries was observed during the course of the fieldwork.
9. Riparian boundaries subject to change due to natural forces and may not represent the actual limit of title.
10. This plat has been calculated for closure and is found to be accurate within one foot in 662,253 feet.
11. Rights-of-way shown per reference 3

ENVIRONMENTAL NOTES:

1. No attempt was made by this firm to determine presence of wetlands.
2. No attempt was made by this firm to determine the presence of specimen trees.

TOPOGRAPHIC SURVEY NOTES:

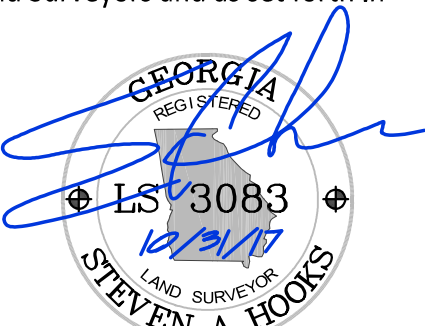
1. Vertical Datum is NAVD 88(2012B) based on network-based RTK GPS solution using a Champion Pro GPS System and eGPS Network Solution. Bearing basis and elevation derived from 2 control points. All other work performed with methods described below.
2. Contours displayed at a 1-ft interval.
3. Measurements shown are US Survey Feet (ground).
4. Vertical accuracy complies with 180-7.04 (3) - measurements vertical.

SURVEYOR CERTIFICATION:

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plat, or other instruments which created the parcel or parcels are stated hereon.

RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

GA CERT OF AUTH. LSF 1121



Boundary & Topographic Survey for:

216 Carpenters Cove Lane

The Trilogy Group

Habersham County, GA

UNINCORPORATED
10th District

Land Lot 105

Civil Engineering, Land Surveying,
Stream and Wetland Restoration

116 North Main Street, Suite B, Cumming, Ga. 30040
Phone: 770-442-0500 www.engineering303.com

Drawn: KT-RL

Date: 10/31/17

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Project Number
17-1211